

RENOVATION OF BLOCK P IN KOWLOON HOSPITAL



醫院管理局

HOSPITAL
AUTHORITY



Heritage Impact Assessment

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In association with

fujitac

Prepared by

ARTitects

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1.1 Project Background

Block P constitutes one of the earliest extant structures within Kowloon Hospital located at 147A Argyle Street, Mong Kok, Kowloon, which holds the distinction of being Kowloon's inaugural government-funded medical facility. Erected in 1925, this two-storey, rectangular edifice was built on level ground to accommodate nursing sisters. Over time, it has experienced several modifications and upgrades to align with the hospital's shifting functional demands. Classified as a Grade 2 historic building since 2009, Block P presently remains unused. The HA, as the property's custodian, seeks to adaptively reuse it by converting it into administration office to support daily operations at Kowloon Hospital. This adaption effort will encompass internal enhancements and the restoration and upkeep of the external façade.

Pursuant to the Development Bureau Technical Circular (Works) No. 1/2022, Block P's heritage designation necessitates an HIA. Approval from the Antiquities Advisory Board (AAB) and the Antiquities and Monuments Office (AMO) must be secured prior to the initiation of substantial works. The HIA will delineate the conservation methodology, examine the potential consequences of the renovation activities, and suggest protective measures to preserve the building's façades and notable architectural characteristics, in accordance with established HIA protocols.



Fig 1.1.1 HIA Study Area (Source: Geographic Information System on Hong Kong Heritage, 2020)

It is noted that the other historic buildings, Blocks B, M & R, are located within the 50m radius of Block P. They were built in 1925, 1932 and 1934 individually.

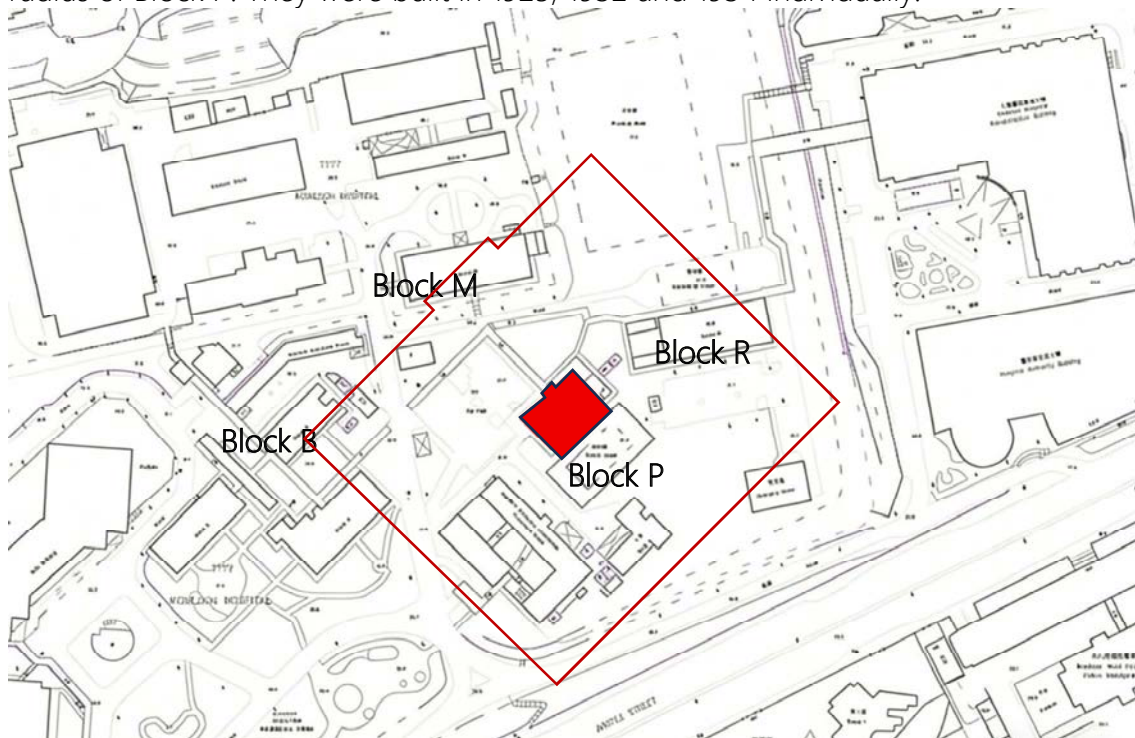


Fig 1.1.2 Adjacent historic buildings within 50m of HIA Study Area highlighted in red (Source: 2025 Plan modified by author)

1.2 Objectives

The principal aims of this Heritage Impact Assessment are outlined below:

- To ascertain the potential effects of the planned renovation on Block P's historical components.
- To devise strategies that mitigate any negative impacts on the building's key features as per the renovation scheme.
- To appraise the effects on significant elements altogether after applying the proposed mitigation measures.

This document explores the historical, architectural, and social facets of Block P - encompassing its emotional and cultural connections to the community, such as its role in supporting nursing staff, fostering a sense of collective memory among healthcare workers and local residents, and reflecting the evolution of public health services in Kowloon - culminating in Statement of Significance (SoS). It highlights factors critical to shaping conservation policies, proposes guidelines for managing alterations to the historic fabric, and considers the ramifications of the building's intended future purpose. Potential impacts are scrutinized, and remedial actions are formulated to lessen detrimental outcomes, with results tabulated in the concluding Heritage Impact Assessment (HIA) section.

1.3 Methodology

The preparation of this Heritage Impact Assessment (HIA) draws upon an extensive review of existing literature and records, supplemented by repeated on-site

evaluations of Block P. The methodology has been determined by the requirements of the Hong Kong Government Development Bureau Technical Circular (Works) No. 1/2022, following the AMO's Guidelines for Built Heritage Impact Assessment (BHIA). The assessment conforms to globally accepted conservation principles, including the Venice Charter (ICOMOS), the Burra Charter (ICOMOS Australia), and the Principles for the Conservation of Heritage Sites in China (China ICOMOS), etc. These benchmarks, along with the processes and standards for conservation of culturally significant places, inform the approach to the building's adaptive reuse. The HIA structure is modelled on the AMO's Guidance for Built Heritage Impact Assessments (as at 28 October 2022). Impacts are analysed based on the initial refurbishment blueprint, with relevant drawings annexed to this report. Proposed mitigation prioritizes impact avoidance, with measures crafted to diminish unavoidable adverse effects.

1.4 Limitations

This HIA predominantly relies on secondary research, leveraging previous studies, historical records, and cartographic resources to compile current data efficiently. It operates within the parameters of pre-existing agreements concerning Block P's refurbishment. The evaluation of impacts and future utilization hinges on the accommodation schedule agreed with the Hospital Authority, which may shift due to evolving standards or needs. On-site observations and available documentation underpin this analysis, though additional in-depth surveys may be warranted as the project advances.

1.5 Authorship

HA has engaged consultants to conduct the required HIA. The appointed term consultant, Fujitac Construction & Engineering Consultants Limited, will serve as the designer. The key personnel involved is Mr. Ken Ng.

The heritage conservation consultancy will be undertaken by ARTitects Limited. The key personnel responsible for the research and preparation of the HIA report are Mr. Gabriel Lo, Ms. Betty Tay & Mr. Jason Wan.

1.6 List of Abbreviations and Definitions

Below are the abbreviations for common terminologies used in this report:

AMO	Antiquities and Monuments Office
AAB	Antiquities Advisory Board
CDEs	Character-Defining-Elements
HA	Hospital Authority
HIA	Heritage Impact Assessment
SoS	Statements of Significance

Below are the common terminologies defined for used in this HIA:

Block P refers to the Kowloon Hospital Block P.

The definitions provided below are taken from the Australia ICOMOS for Conservation of Places of Cultural Significance (the Burra Charter, 2013):

Cultural significance means aesthetic, historic, scientific, social or spiritual value for past, present or future generations.

Fabric means all the physical materials of the place including elements, fixtures, contents and objects.

Conservation means all the processes of looking after a place so as to retain its cultural significance.

Setting means the immediate and extend environment of a place that is part of or contributes to its cultural significance and distinctive character.

Interpretation means all the ways of presenting the cultural significance of a place.

Maintenance means the continuous protective care of the fabric and setting of a place and is to be distinguished from repair which involves restoration or reconstruction.

Preservation means maintaining a place in its existing state and retarding deterioration.

Restoration means the process of returning a place to a known earlier state through the removal of accretions or by reassembling existing elements without the introduction of new material.

Reconstruction means returning a place to a known earlier state and is distinguished from restoration by the introduction of new material.

Adaptation means changing a place to suit the existing use or a proposed use.

2.1 Description of Kowloon Hospital

Kowloon Hospital is situated at 147A Argyle Street, Mong Kok, Kowloon, occupying an elevated site bordered by Prince Edward Road (太子道) West to the North, Argyle Street (亞皆老街) to the south, Waterloo Road (窩打老道) to the west, and Lomond Road (露明道) to the east. As the first government-established hospital in Kowloon, it comprises a cluster of buildings extending from the intersection of Argyle Street and Waterloo Road up the hillside, where most hospital facilities are located. Over the years, the hospital has evolved through incremental development, with new structures added progressively and some older ones demolished to accommodate modern replacements. Several historic buildings have endured, receiving maintenance and earning heritage gradings between 2009 and 2010. Collectively, these structures form a historically significant complex recognized for its cultural value.

This section provides a condensed history of Kowloon Hospital, with a particular focus on Block P, to establish a foundational understanding for the HIA.



Fig 2.1.1 Map of graded buildings in Kowloon Hospital

Buildings	Completion Year	Grading	Accorded Year
Block A (A)	1925	2	2009
Block B (B)	1925	2	2009
Block P (P)	1925	2	2009
Block R (R)	1925	2	2009
Block C (C)	1932	2	2009
Block M (M)	1934	2	2009
Outpatient Block (O)	1935	2	2009
Isolation Block (I)	1938	2	2009
Utility Building (U1)	After 1945	3	2010
Utility Building (U2)	After 1945	3	2010

Fig 2.1.2 Table of graded buildings in Kowloon Hospital

2.2 Chronology of Kowloon Hospital

Year	Descriptions
1920	Site selected for hospital construction.
1925	Blocks A, B (Chinese and European Patients), Block P (Sisters' Quarters) and Blocks R (Ward) were constructed.
1932	Blocks C (Male Patients (G/F) & Female Patients (1/F)) was constructed.
1934	Block M (General Female Patients) and an additional Medical Officers' Quarters were constructed.
1935	Outpatients Block were constructed.
1938	Isolation Block, Servants Quarters, Gardeners Quarters and Mortuary were constructed.
1942-1945	Operated as a Japanese Military Hospital.
1945	Resumed civilian use.
After 1945	Two Utility Buildings were constructed.
1951	Outpatient Block underwent extension.
Early 1960s	New Ward blocks (D, E, F, G, H) were constructed.
1964	Transitioned to tuberculosis and convalescent care post-Queen Elizabeth Hospital opening; served as a nurse training centre.
1965	Blocks R (Ward) converted to Nurses' Quarters.
1964/65	Outpatient Block underwent extension again.
1969	Nursing School and West Wing were constructed.
1982	Prosthetic & Orthotic School was established.
1991	Hospital Authority assumed management of Kowloon Hospital.
1991	Block P repurposed as nurse changing and rest areas.
2000s	The Rehabilitation Building and Main Building were constructed.
2009 - 2010	Blocks A, B, C, M, P, R, Outpatient, Isolation, and Utilities Blocks graded as historic buildings by AAB.

2.3 Historical Background of Kowloon Hospital

2.3.1 Origins and Site Selection (1919–1922)

The demand for a public hospital in Kowloon emerged in the 1920s, driven by the peninsula's rapidly growing population and the resulting need for accessible healthcare. Government records from 1919 to 1920 noted a marked population increase in Kowloon, fueled by urbanization and economic development. This growth rendered Queen Mary Hospital on Hong Kong Island, the sole public hospital at the time, insufficient and geographically inconvenient for Kowloon residents. In response, the Kowloon Residents' Association (KRA), formed in 1920 to advocate for local welfare, pressed the colonial government to establish a Kowloon-based medical facility. By May 1920, the government tasked the KRA with selecting a suitable site, a process finalized by September 1920.

The chosen location was a hill west of Ma Tau Wai (馬頭圍), historically known as Tai Shek Ku (大石鼓), encompassing areas now occupied by Kowloon Hospital and Kadoorie Hill (嘉道理山). Tai Shek Ku, was a significant geographical and cultural landmark, with its name persisting in the area south of the hospital, as evidenced by a 1947 Kowloon map (see Fig 2.3.1). The development of Kadoorie Hill's properties led to the extension of Waterloo Road northward, bisecting the hill, with the western portion subsequently named Kadoorie Hill¹. A temple (大石古觀音廟) originally located in Tai Shek Ku, was relocated to Shan Tung Street (山東街) in 1926, preserving the area's cultural heritage. The site's elevated position offered space for expansion and a healthy environment, but its hilly terrain posed significant construction challenges, delaying progress until 1922.

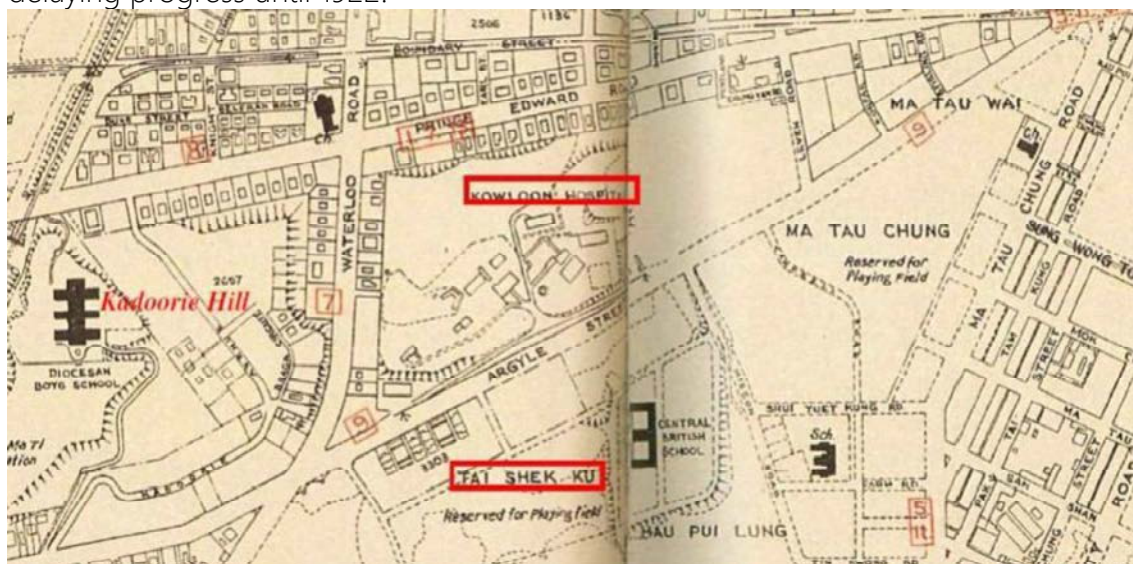


Fig 2.3.1 1947 map showing Tai Shek Ku in relation to Kowloon Hospital and Kadoorie Hill. (Source: Mapping Hong Kong, 1992, pp.184-185)

¹ 饒致才。《香港地名與地方歷史 上》

2.3.2 Construction and Opening (1922–1925)

Construction of Kowloon Hospital began in 1922, led by the Architectural Office of the Public Works Department, which designed the initial structures to meet both functional and aesthetic standards. A tender gazetted on 20th October 1922 (see Fig 2.3.2), outlined the project as comprising five building blocks, offices, and outhouses at Tai Shek Ku. The hilly terrain required extensive leveling, with additional delays caused by the need to elevate an adjacent 50-foot road and create graded ambulance access, as explained by Mr. Fletcher, the Assistant Colonial Secretary, in 8th May 1922, Hong Kong Daily Press article. These challenges postponed the start of construction until the site was adequately prepared.

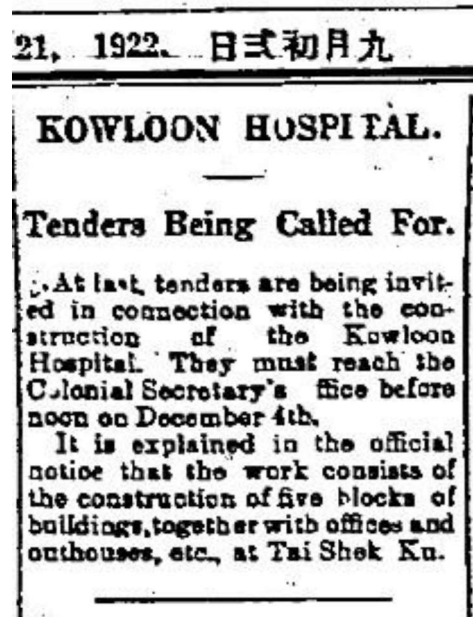


Fig 2.3.2 The tender of Kowloon. (Source: South China Morning Post, 1922)

Kowloon Hospital officially opened on 14th December 1925 (see Fig 2.3.3), a milestone marked by a visit from the newly arrived Governor, Cecil Clementi, on 1st November 1925². Dr. J.B. Addison, the Principal Civil Medical Officer, praised the hospital's spacious grounds and strategic site, noting plans for future gardens and expansion potential³. The initial complex included Blocks A, B, P, and R.

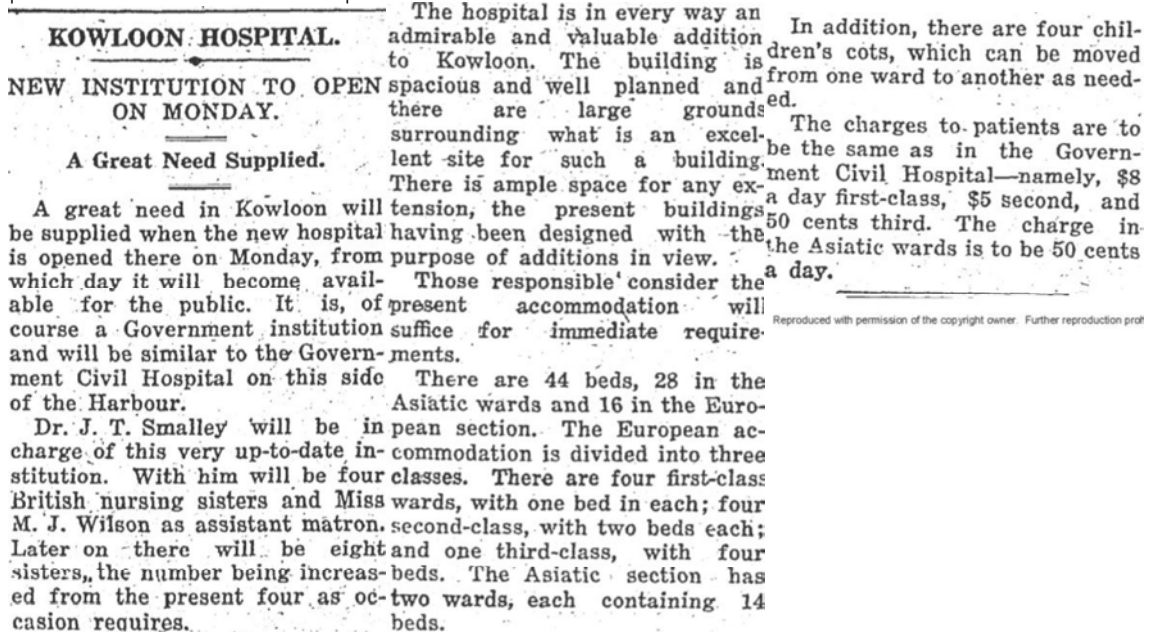


Fig 2.3.3 The opening of Kowloon Hospital mentioned in a 19th Dec 1925 South China Morning Post article. (Source: South China Morning Post, 1925)

² Historic Building Appraisals of Kowloon Hospital prepared by AMO
³ Hong Kong Telegraph article

2.3.3 Early Operations and Expansion (1925–1938)

Upon opening, Kowloon Hospital became Kowloon's sole government healthcare provider, addressing the urgent medical needs of a burgeoning population. The hospital's early success prompted a series of expansions to meet increasing demand. Between 1929 and 1938, several key structures were added⁴.

- Block C (1932): Provided large open wards for male patients on the ground floor and female patients on the first floor, enhancing segregated care.
- Block M (1934): Initially served general female patients before focusing on maternity care, reflecting evolving healthcare needs.
- Outpatient Block (1935): Built as a single-storey facility with a large waiting hall and consulting rooms, now known as the Central Kowloon Family Medicine Clinic.

By 1935, the hospital occupied a 30-acre reserve, with plans for a 500-bed general hospital, a mental facility, and an infectious disease centre. At that time, it featured three general blocks, a maternity block, an outpatient unit, and staff quarters, with 97 general and 34 maternity beds⁵.



Fig 2.3.4 Photo showing Kowloon Hospital on or after 1935 (Completion year of Out-patient Block) (Source, Hong Kong Public Library)

In 1938, the facility expanded with the construction of the Isolation Block, designed to manage infectious diseases through five small, specialized wards that addressed pressing public health concerns. Alongside this, additional structures were erected, including Servants' Quarters, Gardeners' Quarters, and a Mortuary, further enhancing the site's operational capacity.

⁴ Historic Building Appraisals of Kowloon Hospital Block C, M, R, Outpatient Block, Isolation Block & Utility Building prepared by AMO

⁵ 1935 Hong Kong Government Admin Report (Medical)

2.3.4 Japanese Occupation and Post-War Recovery (1941–1945)

During the Japanese occupation (1941–1945), Kowloon Hospital was repurposed as a military facility. This shift disrupted civilian healthcare, with facilities adapted for military use. Civilian operations resumed in 1945, initiating a period of recovery. Two small Utility Buildings, likely constructed around 1945 near the Outpatient Block, were added post-war to meet operational needs. These buildings, designed in a style reminiscent of the 1930s, reflect the hospital's adaptation to post-war demands. By that time, Kowloon Hospital had already established a considerable scale (see Fig 2.3.5).

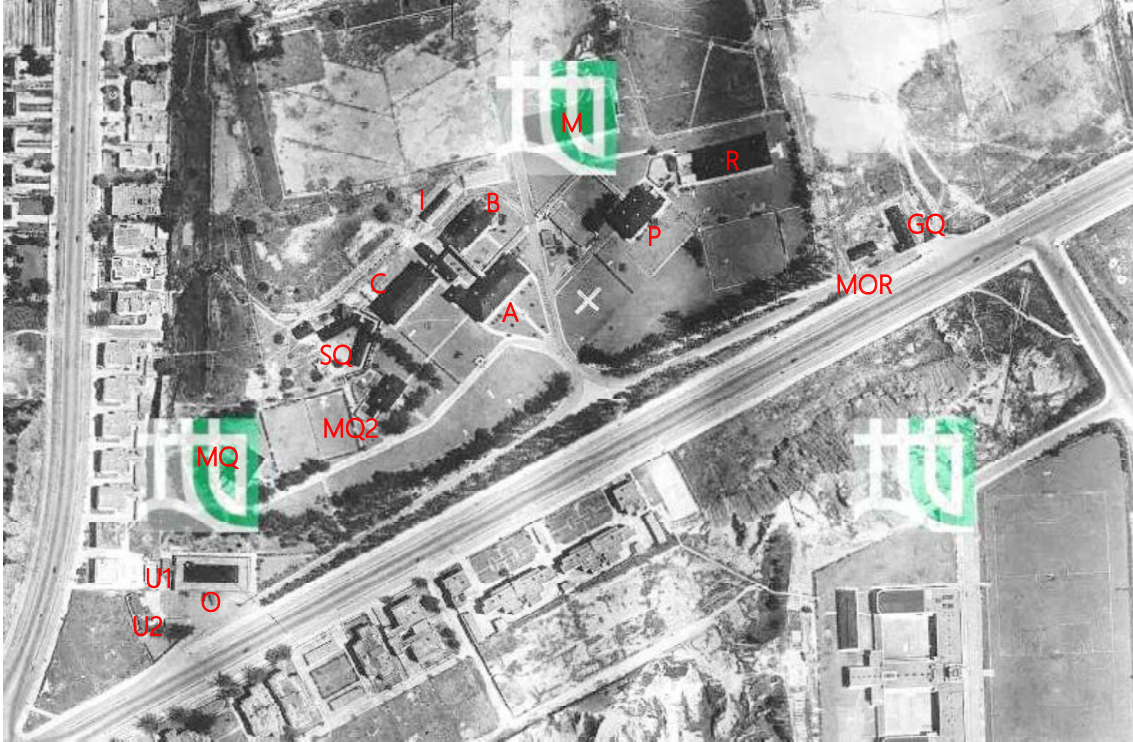


Fig.2.3.5 Aerial photo showing the configuration of Kowloon Hospital in 1949. (Source: Public Records Office, 1949)

A - Block A; B - Block B; C - Block C; I - Isolation Block; M - Block M; P - Block P; R - Block R
O - Outpatient Block; U1 & U2 - Utility Building; SQ – Servants' Quarter;
MQ & MQ2 - Medical Office Quarter; GQ - Gardeners' Quarter; MOR - Mortuary

2.3.5 Transition to Specialized Care (1950s–1960s)

- By the mid-1950s, plans emerged to shift acute-care services to Queen Elizabeth Hospital⁶. Following Queen Elizabeth Hospital's opening in 1963, Kowloon Hospital transitioned by 1964 to focus on tuberculosis treatment, convalescent care, and nurse training. New ward blocks (D, E, F, G, H) were constructed in the early 1960s (see Fig 2.3.6) The Outpatient Block underwent extensions in 1951 and 1964/65, incorporating modern designs with flat roofs and additional waiting areas⁷. In 1964, parts of the hospital served as a training centre for assistant nurses⁸. Block R converted to Nurses' Quarters in 1965.



Fig.2.3.6 Aerial photo in 1963 shows a number of buildings under construction, including D, E, F, G, H Blocks and a kitchen. (Source: Public Records Office, 1961)

⁶ 1954 Public Record Office file (HKRS156-1-5230)

⁷ Historic Building Appraisals of Kowloon Hospital Outpatient Block prepared by AMO

⁸ 工商日報, 1964

2.3.6 Modern Expansion and Heritage Recognition (1969–Present)

Kowloon Hospital continued to evolve with significant developments in the late 20th and early 21st centuries. In 1969, a Nursing School and West Wing were constructed, altering the site's low-rise aesthetic (see Fig 2.3.7).

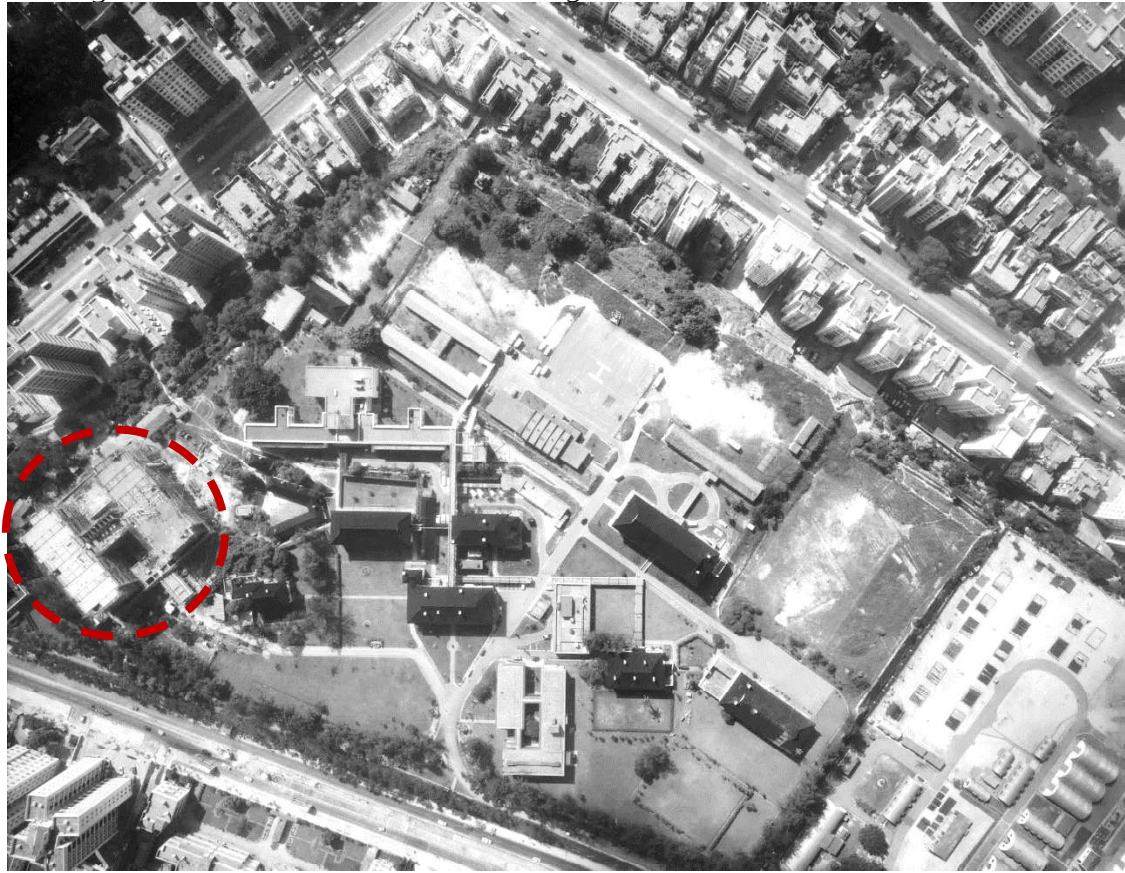


Fig. 2.3.7 1969 aerial photo shows the construction of West Wing in progress. The building is relatively high comparing to the old hospital blocks. (Source: Survey and Mapping Office, 1969)

In 1982, the hospital established the Prosthetic & Orthotic School, later integrated into the Hong Kong Polytechnic University.

Since 1991, the Hospital Authority has managed the site, overseeing operational and conservation activities.

The Rehabilitation Building and Main Building, completed in the early 2000s, shifted primary operations to modern structures, with older blocks repurposed or demolished (see Fig 2.3.8).

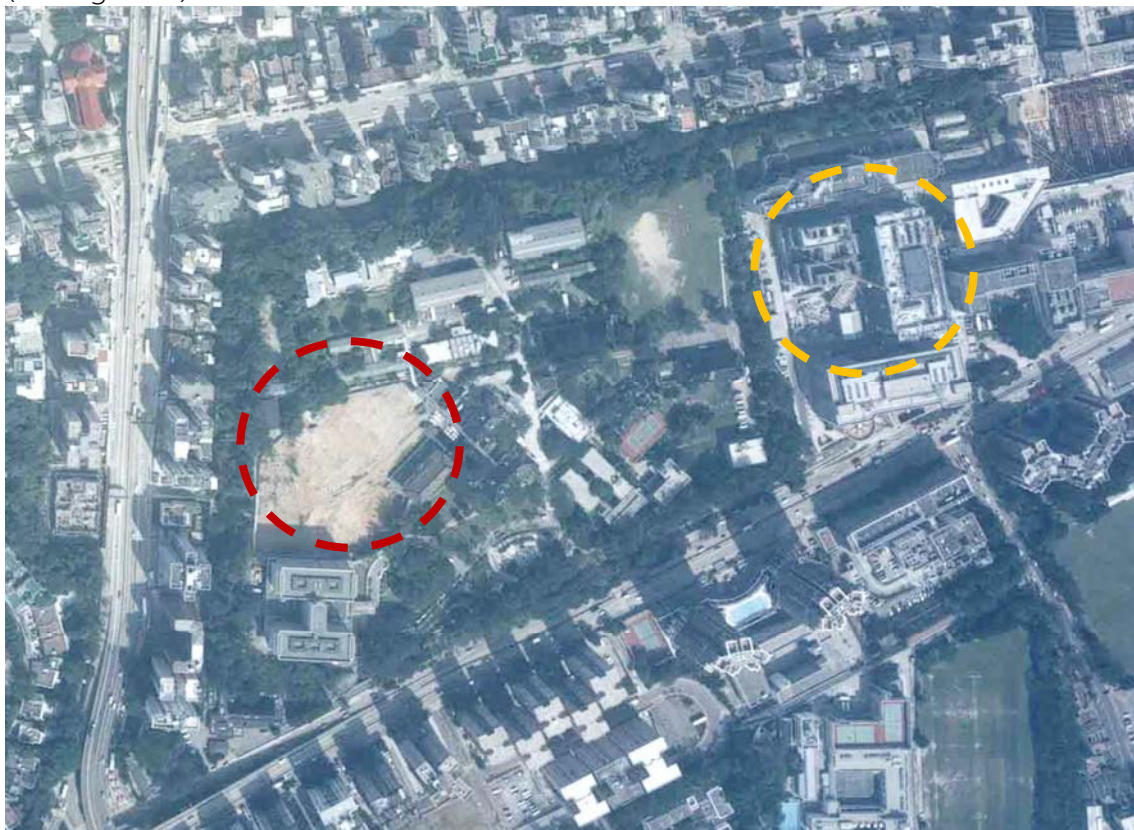


Fig.2.3.8 1998 aerial photo shows the Rehabilitation Building in completion stage (in yellow circle) and the foundation of Main Building (in red circle). (Source: Lands Department, 1998)

2.4 Chronology of Block P

Year	Descriptions
1925	Constructed to serve as Sisters' Quarter.
1942-1945	Military use. Specific role is unknown.
1945	Resume as Sisters' Quarters.
1964	Served as a training centre for assistant nurses.
1991	Repurposed as nurse changing, office and rest areas.
2010s	Abandoned and remains vacant.

2.5 Historical Background of Block P

2.5.1 Design and Construction (1923–1925)

Block P, constructed in 1925, is one of Kowloon Hospital's earliest surviving structures, alongside Blocks A and B. Designed by the Architectural Office of the Public Works Department, it was built as Sisters' Quarters to accommodate nursing staff. Its establishment responded to the 1920s population boom.

Block P's earliest mention appears in a 1923 South China Morning Post article (11th April 1923) described Block P as comprising eight bedrooms, a matron's flat, and communal spaces (see Fig. 2.5.1). Government reports from 1923 and 1924 confirmed the brick framework's completion by late 1923, with Chinese tiling added by 1924.

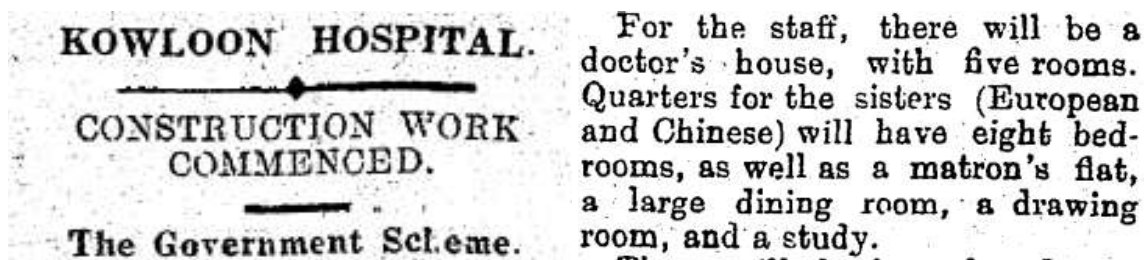


Fig. 2.5.1 Block P's earliest mention appears in a 1923 South China Morning Post article. (Source: South China Morning Post, 1924)



Fig 2.5.2 Block P in early days (n.d.) (Source: Gwulo.com) (Coloured by AI Programme)

2.5.2 Maryknoll Sisters' Proposed Involvement (1920–1923)

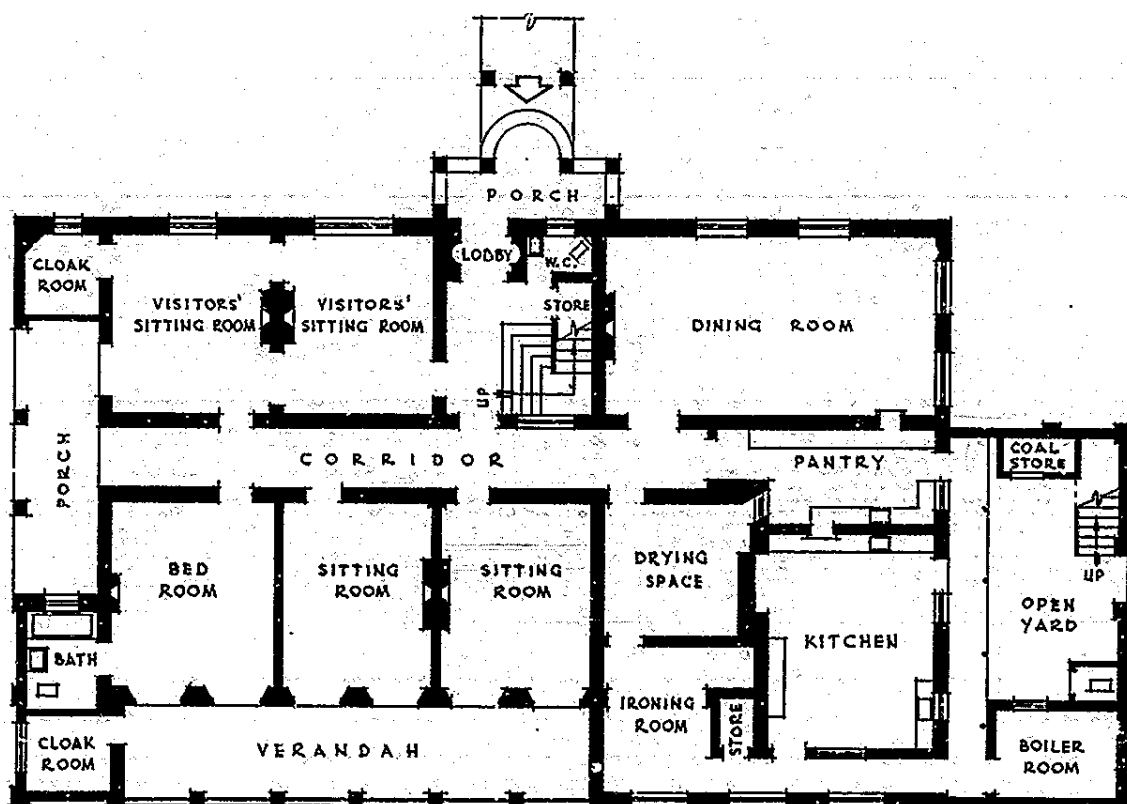
The Kowloon Residents' Association and the government initially proposed employing the Maryknoll Sisters for nursing duties at Kowloon Hospital, with plans approved by the Executive Council on 23th May 1920, and funding agreed for their training under government control. However, by 28th October 1923, the Executive Council reconsidered and abandoned this proposal due to complexities involving religious integration and public criticism, opting for alternative nursing arrangements.⁹ While the Maryknoll Sisters did not ultimately serve in Block P, this episode reflects early efforts to secure qualified nursing staff for the hospital, shaping the context of Block P's role as Sisters' Quarters.

2.5.3 Japanese Occupation (1941–1945)

During the Japanese occupation, Block P was repurposed for military use. Its specific role is undocumented, but it likely supported the military hospital's operations. Civilian use resumed in 1945, with Block P returning to its role as Sisters' Quarters¹⁰.

2.5.4 Post-War Continuity and Adaptation (1945–1960s)

Post-war, Block P continued as Sisters' Quarters, supporting civilian healthcare. The 1963 opening of Queen Elizabeth Hospital prompted Kowloon Hospital's shift to tuberculosis and convalescent care in 1964. Block P was used as part of a training centre for assistant nurses, with its layout preserved after a 1964/65 rehabilitation.



⁹ The China Mail (30th Dec 1924)

¹⁰ Historic Building Appraisals of Kowloon Hospital Block P prepared by AMO

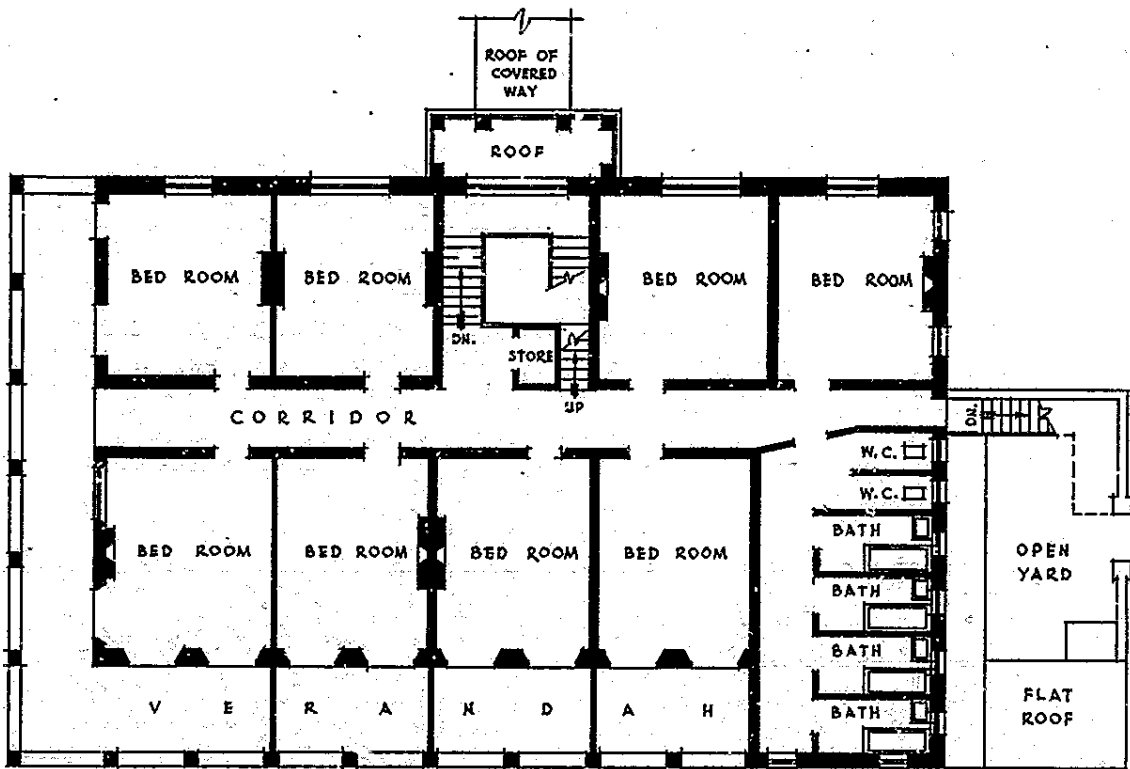


Fig 2.5.3 Record Plans (G/F & 1/F) after 1964/5 rehabilitation. (Source: Hospital Authority, 1965)

2.5.5 Repurposing Under Hospital Authority (1991–Present)

In 1991, the Hospital Authority repurposed Block P as nurse changing, office and rest areas. However, since the 2010s, Block P has been abandoned and remains vacant to this day.

Classified as a Grade 2 historic building in 2009, Block P's significance lies in its century-long contribution to healthcare.

2.6 Architectural Background of Block P

2.6.1 Architectural Description

Block P, constructed in 1925 as Sisters' Quarters at Kowloon Hospital, is a two-storey rectangular structure designed by the Architectural Office of the Public Works Department. As one of the earliest extant buildings within the hospital complex, it played a critical role in accommodating nursing staff essential to the hospital's operations. The building's architectural design exemplifies a rare and sophisticated blend of Classical Revival (or sometimes refers to Neoclassical), Arts and Crafts, and Chinese influences, a style shared with contemporaneous structures like Blocks A and B, which together formed the foundational core of Kowloon's first government hospital. Its internal and external features, largely intact, reflect high-quality craftsmanship and functional design, contributing to its status as a Grade 2 historic building.



Fig 2.6.1 Aerial photo of Block P (North-West).



Fig 2.6.2 Aerial photo of Block P (North-East).



Fig 2.6.3 Aerial photo of Block P (South-East).



Fig 2.6.4 Exterior photo of Block P (South-East).

2.6.2 Architectural Style

Block P's architectural style is a harmonious fusion of Classical Revival, Arts and Crafts, and Chinese influences, creating a distinctive aesthetic that responds to both Western architectural traditions and Hong Kong's cultural context in the 1920s. The Classical Revival influence is evident in the building's symmetrical plan, proportioned elevations, and orderly spatial organization, which lend a sense of balance and formality. Arts and Crafts principles are reflected in the emphasis on material quality, meticulous craftsmanship, and functional design, particularly in the detailing of structural elements and interior finishes. The incorporation of Chinese elements, most notably in the roof design and the grey gauged brickworks, anchors the building within Hong Kong's cultural landscape, making it a rare example of early 20th-century public architecture. This stylistic blend is uncommon in Hong Kong, positioning Block P as a significant architectural artifact within the Kowloon Hospital complex.

2.6.3 Architectural Significance

Block P's architectural merit lies in its age, rarity, intactness, and innovative design. Erected in 1925, it showcases high-quality craftsmanship and a rare stylistic fusion of Classical Revival, Arts and Crafts, and Chinese influences. The verandahs, Chinese tiled roof, and internal spatial organization demonstrate functional and aesthetic innovation, tailored to Hong Kong's climate and cultural context. Despite minor modern additions, such as window air conditioners and internal cabinets, the building retains its authentic appearance both internally and externally, preserving its original spatial layout and external fabric. This intactness underscores its importance as a built heritage asset, offering a tangible link to Kowloon Hospital's formative years.

The internal features, particularly the central corridor, communal spaces, and private bedrooms, reflect the building's historical role as Sisters' Quarters, a function critical to the hospital's operations. The thoughtful design of these spaces, balancing efficiency with comfort, enhances Block P's historical and social value. Its architectural significance is further evidenced by its rarity in Hong Kong, where few buildings from the 1920s combine such diverse stylistic influences with such a high degree of preservation.

2.7 Architectural External Features

Block P's exterior is characterized by a cohesive and visually striking design that balances functionality with aesthetic appeal. The building is planned with a symmetrical layout, featuring a central entrance on the west side accessed via a covered walkway from the Ward Blocks. This entrance opens into a covered porch and lobby, providing a sheltered transition to the interior (See Fig 2.7.1 to 3). In the ground floor lobby, two arched alcoves, originally designed to hold religious icons, remain intact.

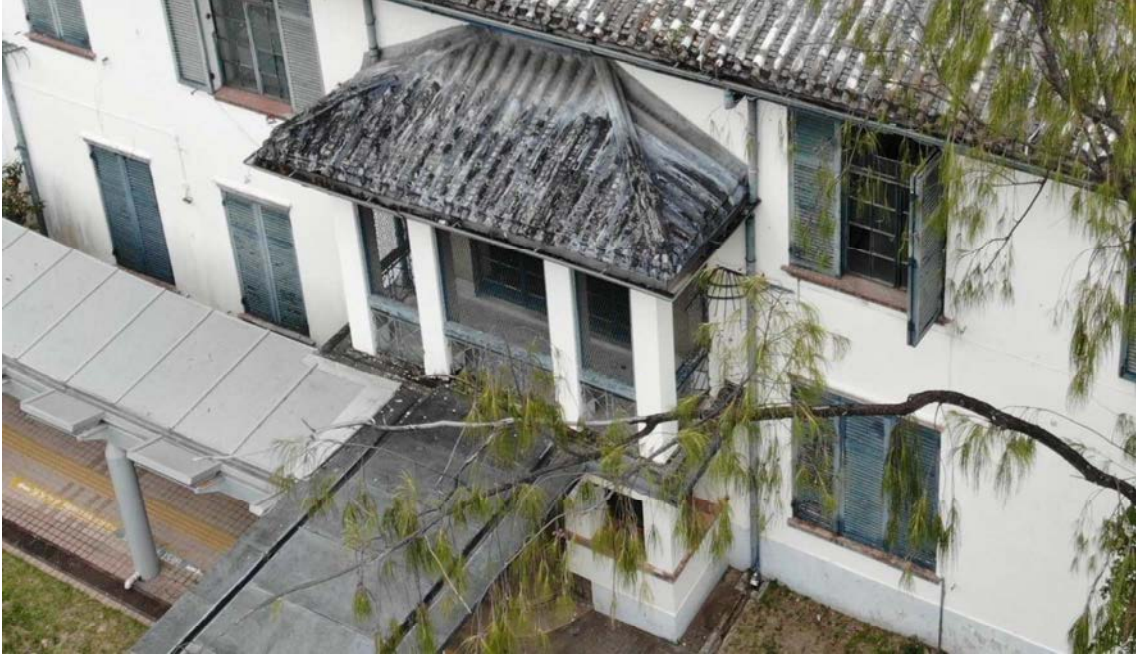


Fig 2.7.1 The entrance porch with covered walkway.



Fig 2.7.2 The entrance porch at G/F portion.

Fig 2.7.3 The entrance lobby and arched alcove.

G/F verandah is supported by jointless grey gauged brick columns (See Fig 2.7.4). Open colonnaded and arcaded verandahs adorn the east and south elevations on both ground and first floors, offering ventilation and shading in Hong Kong's humid climate while enhancing the building's elegance (See Fig 2.7.5).



Fig 2.7.4 The open colonnade and arched verandah on G/F.



Fig 2.7.5 The open colonnade and arched verandah on 1/F.

The building's most striking feature is its Chinese tiled hip-and-gable roof (歇山頂, adorned with "cow's horn" curling ends at the ridges and corners, lending a distinctive Oriental aesthetic (See Fig 2.7.6 & 7). The roof is supported by timber trusses and purlins, with tiles laid in a double-roll-double-pan style (雙筒雙瓦), a hallmark of colonial architecture in Hong Kong. Rafters rest on the purlins beneath the tiles (See 2.7.8 & 9).



Fig 2.7.6 The Chinese tiled hip-and-gable roof.



Fig 2.7.7 The "cow's horn" curling end.



Fig 2.7.8 Trusses and purlins as roof structure.



Fig 2.7.9 The roof tiles laid in a double-roll-double-pan style.

The external walls are rendered and painted in a cream finish, accentuated by jointless grey gauged brickwork (絲縫磚) used for verandah columns, window trims (See Fig 2.7.10 & 11).



Fig 2.7.10 External walls are painted in a cream finish and jointless grey gauged brick verandah column on G/F.



Fig 2.7.11 Jointless grey gauged brick window trims.

Crittall windows, painted dark green and divided into small panes, and shutter windows enhance the design, ensuring ample light and ventilation (See Fig 2.7.12 & 13). Distinctive elements, including three circular porthole windows, and six chimney stacks, further define Block P's unique architectural character (See Fig 2.7.14 & 15).



Fig 2.7.12 Crittall window.



Fig 2.7.13 Shutter window.



Fig 2.7.14 The circular porthole window.



Fig 2.7.15 The chimney stack.

Exposed rainwater downpipes ensure efficient drainage while contributing decorative flair to Block P. However, only one cast iron downpipe, believed to be original, remains (See 2.7.16 to 18). All other downpipes have been replaced with PVC types.



Fig 2.7.16 to 18 The only remaining cast iron rainwater downpipe at Block P.

2.7.1 Cow's Horn

The "cow's horn" design, a unique curling ridge end on the Chinese tiled roofs of all Kowloon Hospital blocks, including Block P, is a rare feature in Hong Kong, found only at the Lady Ho Tung Welfare Centre (何東夫人醫局) in Sheung Shui Kwu Tung (上水古洞) (See Fig 2.7.19 & 20). Despite its distinctiveness, the design's origin remains unknown, as it does not align with any established architectural style, making it a mysterious yet significant element of the hospital's 1920s heritage.



Fig 2.7.19 Lady Ho Tung Welfare Centre



Fig 2.7.20 Cow's Horn at the ridge end.

Source: https://cache.org.hk/blog/heritage100_078

2.7.2 Jointless grey gauged brickwork

The jointless grey gauged brickwork at Kowloon Hospital, adorning all blocks including Block P, is a rare feature in Hong Kong, characterized by its precise 1-2mm joints that demand high-quality bricks and exceptional craftsmanship, a technique typically seen in wealthy residences in China (See Fig 2.7.21). This distinctive brickwork, shared only with the Main Hall Building of Kwong Wah Hospital (now Tung Wah Museum) (See Fig 2.7.22) among Hong Kong's heritage buildings, enhances the hospital's 1920s architectural significance, reflecting a level of artistry and material excellence uncommon in the region.



Fig 2.7.21 Jointless grey gauged brickwork at Block P Kowloon Hospital

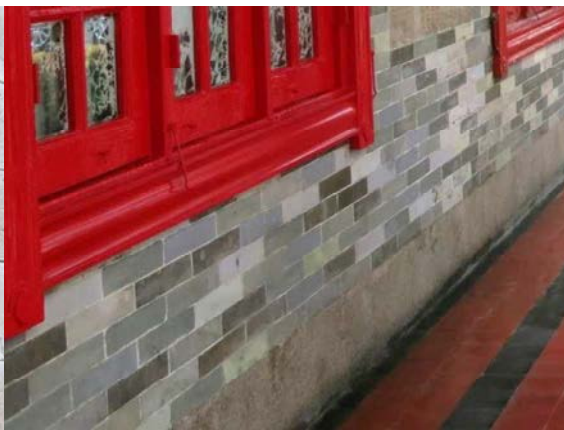


Fig 2.7.22 Jointless grey gauged brickwork at Tung Wah Museum.

Source: https://notsomoan.blogspot.com/2014/03/blog-post_10.html

2.7.3 Circular Porthole with Ceramic Circular Grilles

The Circular Porthole with Circular Grilles at Block P is a distinctive and rare feature within Kowloon Hospital, unique to this block, showcasing ceramic tube grilles in a bamboo pattern that were originally a fresh green colour but are now painted a darker leaf green. (See Fig 2.7.23 & 24) This special design, not commonly seen, enhances Block P's 1920s architectural character, adding a vibrant and intricate aesthetic element exclusive to its heritage.



Fig 2.7.23 The overall view of Circular Porthole with Ceramic Circular Grilles



Fig 2.7.24 The close-up view of Circular Porthole with Ceramic Circular Grilles

2.8 Architectural Internal Features

Internally, Block P is designed to a symmetrical plan with a central corridor serving as the primary circulation spine on both floors, ensuring efficient access to all functional spaces. The main entrance leads to a porch and lobby, which connects to the central corridor and a centrally located main staircase, a key vertical circulation element (See Fig 2.8.1). The staircase, positioned off the lobby, is designed for durability and frequent use, reflecting the building's practical focus.



Fig 2.8.1 The main staircase.

The ground floor is organized around the central corridor, housing communal and utility areas tailored to the needs of nursing staff:

Kitchen and Utility Areas: Located towards the north end, the kitchen supports meal preparation, with adjacent utility areas for storage and ancillary functions, ensuring self-sufficiency (See Fig 2.8.2 & 3).

Dining Room: Positioned along the corridor, this communal space facilitates meals and social interaction, fostering a sense of community among nurses.

Sitting Rooms: Multiple sitting rooms provide spaces for relaxation and informal gatherings, acknowledging the demanding nature of nursing work (See Fig 2.8.4 & 5).



Fig 2.8.2 & 3 The overall appearance of the room, previously used as a kitchen.



Fig 2.8.4 & 5 The overall appearance of the room, previously used as a sitting room.

The first floor is dedicated to private accommodations, with a series of bedrooms, arranged along the central corridor (See Fig 2.8.6 to 9). A 1923 South China Morning Post article specifies eight bedrooms designed for individual nursing staff, with the matron's bedroom on the ground floor suggesting a hierarchical arrangement.



Fig 2.8.6 & 7 The overall appearance of the room, previously used as a bedroom.



Fig 2.8.8 & 9 The overall appearance of the room, previously used as a bedroom.

Bathrooms and toilets, located primarily at the northern end, are designed for accessibility and hygiene. The internal spaces are enhanced by steel-framed windows, which allow ample natural light and ventilation, improving comfort (see Fig. 2.8.10 & 11). Two original timber toilet cubicle doors remain in the bathroom, a rare feature. Both the doors and their ironmongery are intact and may be functional after repair (See Fig 2.8.12 & 13).



Fig 2.8.10 The view of the bathroom.



Fig 2.8.11 The view of the bathroom.



Fig 2.8.12 The original toilet cubicle doors.



Fig 2.8.13 The ironmongeries at the door.

The interior of Block P retains its authentic original appearance, characterized by materials typical of 1920s institutional architecture, including plastered walls, painted surfaces, and teak or tiled flooring (See Fig 2.8.14 & 15). Minor modern adaptations, such as the addition of shelves and cabinets for its use as nurse changing and rest areas since 1991, have not significantly altered the original layout.



Fig 2.8.14 Teak floor.



Fig 2.8.15 Tiled floor

2.8.1 Fireplace

There are fourteen well-preserved fireplaces in Block P, each adorned with timber surrounds and green ceramic tiles, are evocative remnants of 1920s daily life for Western residents, offering a glimpse into the warmth and domestic comfort sought by the nursing staff who lived there. These intact fireplaces, strategically placed in sitting room and bedrooms, not only served a functional role in heating the Sisters' Quarters but also reflect the architectural influence of Western design in colonial Hong Kong, enhancing Block P's historical authenticity and social significance as a rare surviving feature of that era.



Fig 2.8.16 to 21 The general views of fireplaces (showing 6 out of 14).

2.8.2 Timber Ceiling

The timber ceiling of Block P at Kowloon Hospital, once a defining feature of its 1920s interior, has been largely removed due to severe termite damage, leaving the roof exposed (See Fig 2.8.22 & 23), with only the timber ceiling joists above the main staircase on the 1/F surviving (See Fig 2.8.24 & 25). Although the original timber ceiling at the 1/F verandah has also been lost, a record has been found to know its original appearance (See Fig 2.8.26).



Fig 2.8.22 & 23 The original timber ceiling has been removed, leaving the roof exposed.



Fig 2.8.24 & 25 The surviving timber ceiling joist above the main staircase on the 1/F.



Fig 2.8.26 The original timber ceiling design.

2.9 Contextual Relevance

Block P's architectural significance is amplified by its group value within Kowloon Hospital, where it forms part of a collection of ten graded historic buildings, including Blocks A, B, C, M, R, the Outpatient Block, Isolation Block, and Utility Buildings U1 and U2, constructed between 1925 and 1945. These structures share similar architectural traits, such as rendered walls, grey gauged brick accents, and Classical Revival styling, creating a unified aesthetic and historical narrative. The consistent design language, evident in the shared use of Chinese tiled roofs and verandahs, reinforces the hospital's cohesive heritage complex.

The building's location near other heritage sites, such as St. Teresa's Church (Grade 1), King George V School (Grade 2), Tang King Po School (Grade 3), Heep Yunn School (Grade 3), and the Ma Tau Kok Ex-Animal Depot (Grade 2), further enhances its contextual relevance, situating Block P within a broader network of significant historic landmarks in Kowloon. This spatial and historical connectivity underscores the building's role in Kowloon's early 20th-century development.

2.10 Current Physical Conditions

A visual inspection indicates that Block P is in satisfactory condition overall, thanks to regular maintenance and cleaning. The roof exhibits minor leaks, with evidence of multiple repairs and a deteriorating waterproofing membrane, though the timber roof structure shows no significant defects (See Fig 2.10.1). The external walls, verandahs, and windows require conservation attention, with issues including peeling paint, disintegrating seamless grey gauged brickwork on verandah columns, and cracks in red tile capping and brick trim around openings (See Fig 2.10.2 & 3).



Fig.2.10.1 The roof with the multiple minor repairs and a deteriorating waterproofing membrane.



Fig 2.10.2 The broken Jointless Grey Gauged Brickwork. Fig 2.10.3 Broken of the red tile capping.

Internally, some timber flooring is loose or rotted, though most is well-preserved. Wall and floor tiles are generally in satisfactory condition, despite some missing tiles. Internal modifications, such as added shelves and cabinets to accommodate functional changes, are noted. A detailed building condition survey is recommended to thoroughly document defects and inform future maintenance planning.

3.1 Theoretical Basis of Statements of Significance and Categorization of Values

Cultural significance represents a fundamental idea aimed at recognizing and evaluating the qualities that render a location valuable to individuals and communities. Grasping this concept is essential for any planning efforts, as it allows for well-informed choices that help preserve, uncover, or at least reduce harm to that value as much as feasible.

A key framework for heritage evaluation promotes a broader, more inclusive method that highlights the importance of significance in guiding decisions. The primary categories commonly applied in such assessments include historic, architectural, social and group values.

Historic value involves the interplay of artistic, scientific, and societal elements. It focuses on locations that have shaped or been shaped by notable people, occurrences, periods, or endeavors. This value increases when physical traces of those connections or events remain in their original position, or when the surrounding environment stays mostly unchanged. In some cases, the importance of certain links or happenings can endure even after later alterations.

Architectural value pertains to elements of design excellence, including considerations like era, uniqueness, wholeness, superior craftsmanship, and creative advancements. This extends beyond mere visual or stylistic appeal to encompass insights from engineering methods, practical amenities, environmental layouts, building techniques, and customary practices drawn from societal norms or traditions.

Social value captures the sentimental and communal bonds that link people to a site, stemming from collective memories and customs. Protecting this aspect helps maintain locations as vital symbols that strengthen group identity.

Group value applies to assemblies of heritage locations or features that possess comparable qualities. Together, they amplify one another's importance through elements like proximity, shared background, and common themes. Effective stewardship of these groups demands a comprehensive strategy that accounts for their mutual links and broader context.

3.2 Statements of Significance

Block P, constructed in 1925 as Sisters' Quarters within Kowloon Hospital, is a two-storey rectangular structure that holds significant cultural value as part of Hong Kong's first government-funded hospital in Kowloon. Its historical, architectural, social, and group values, rooted in its role as a critical component of the hospital's early operations, contribute to its designation as a Grade 2 historic building. The following statement delineates the specific attributes that make Block P a place of cultural significance.

3.2.1 Historic Value

Block P's historic value lies in its foundational role in Kowloon Hospital's establishment and its continuous contribution to Hong Kong's healthcare system over a century, evidenced by its largely intact structure.

Constructed in 1925, Block P is among the earliest structures of Kowloon Hospital, alongside Blocks A and B, forming the core of Kowloon's first government healthcare facility. Its establishment responded to the rapid population growth in Kowloon during the 1920s, driven by urbanization and economic development, as government records from 1919–1920 indicate a pressing need for accessible healthcare. The hospital's opening on 14th December 1925, following a visit by Governor Cecil Clementi, underscores its significance to the colonial administration. As Sisters' Quarters, Block P housed nursing staff critical to patient care, a role integral to Hong Kong's medical history.

The building's association with the Maryknoll Sisters, who were proposed for nursing duties in 1920, highlights early efforts to integrate religious orders into public healthcare, even though the proposal was abandoned by 1923.

During the Japanese occupation (1941–1945), Block P was repurposed for military use, resuming its civilian function post-war. The hospital's transition to a tuberculosis and convalescent facility in 1964, following the opening of Queen Elizabeth Hospital in 1963, saw Block P integrated into this new framework, serving as part of a nurse training centre. By 1991, under Hospital Authority management, it was adapted as nurse changing and rest areas, maintaining its association with nursing staff. The building's physical fabric, largely intact despite minor modern adaptations like added shelves, provides tangible evidence of Kowloon Hospital's formative years. Its century-long use for hospital-related purposes reflects its enduring role in Hong Kong's healthcare evolution, from its inception to the present.

3.2.2 Architectural Value

Block P's architectural value stems from its rare blend of Classical Revival, Arts and Crafts, and Chinese influences, showcased through its intact design and high-quality craftsmanship, making it a significant example of 1920s public architecture.

Block P exemplifies early 20th-century public architecture, blending Classical Revival, Arts and Crafts, and Chinese influences in a rare and sophisticated design. Designed by the Architectural Office of the Public Works Department, its nearly symmetrical two-storey plan features a central entrance on the west side, accessed via a covered walkway, and open colonnaded verandahs on the east and south elevations, enhancing ventilation and aesthetic appeal. The exterior showcases rendered and painted walls with grey gauged brickwork accenting verandah columns, window trims, and parapet copings, complemented by a Chinese tiled hipped-and-pitched roof with “cow’s horn” curling ends, imparting an Oriental aesthetic. Unique features, such as circular porthole windows, chimney stacks, and geometric forms in the service yard’s enclosing wall, further distinguish its character. The use of jointless grey gauged brickwork, a rare technique in Hong Kong showcases exceptional craftsmanship.

Internally, a central corridor organizes ground floor communal spaces (kitchen, dining room, sitting rooms) and first floor private accommodations (eight bedrooms, bathrooms). Dark green Crittall windows provide natural light and ventilation, supporting the building’s functionality. The high-quality craftsmanship, evident in the precise layout and durable materials (likely plastered walls and tiled floors), reflects Arts and Crafts principles. Erected in 1925, Block P’s rarity in Hong Kong, where few buildings combine such diverse stylistic influences, elevates its architectural merit. Despite minor modern additions, such as window air conditioners and internal cabinets, it retains its authentic internal and external appearance, preserving its original design integrity.

3.2.3 Social Value

Block P’s social value derives from its century-long role in supporting nursing staff and healthcare delivery, fostering community ties and serving as a culturally significant landmark in Kowloon.

Block P holds profound emotional and cultural significance for the Kowloon community as Sisters’ Quarters, a critical component of Kowloon Hospital, the region’s sole government healthcare provider in its early decades. By housing nursing staff essential to patient care, it supported the delivery of vital medical services, fostering shared experiences that strengthened communal bonds during the 1920s and beyond. Its role persisted through the hospital’s transition to a tuberculosis and convalescent centre in 1964, where it served as part of a nurse training centre, and later as nurse changing, office and rest areas under the Hospital Authority from 1991. The building’s distinctive Oriental roof and unique design elements, such as porthole windows, contribute to its local interest, making it a recognizable landmark. Over a century, Block P’s enduring presence has embedded it in the community’s identity and collective memory, reinforcing its social value.

3.2.4 Group Value

Block P's group value is rooted in its integral role within Kowloon Hospital's cohesive heritage complex and its connections to nearby historic landmarks, amplifying its cultural significance.

Block P's significance is enhanced by its group value within Kowloon Hospital's heritage complex, comprising ten graded historic buildings—Blocks A, B, C, M, P, R, Outpatient Block, Isolation Block, and Utility Buildings U1 and U2. These structures, designed by the Architectural Office of the Public Works Department, share architectural traits like rendered walls, grey gauged brick accents, and Chinese tiled roofs, creating a cohesive aesthetic and historical narrative. Block P's spatial and historical ties to Blocks A, B and R (1925) and Block M (1934) enhance its collective worth, reflecting the hospital's integrated operational framework. Its location near heritage sites such as St. Teresa's Church (Grade 1), King George V School (Grade 2), and Heep Yunn School (Grade 3) further enriches its contextual value.

3.2.5 Conclusion

Block P's cultural significance is multifaceted, encompassing its historic role in Hong Kong's healthcare system, its rare architectural design, its deep social ties to the Kowloon community, and its group value within a broader heritage context. As a well-preserved example of 1920s architecture and a vital component of Kowloon Hospital, it warrants careful conservation to maintain its legacy as a significant built heritage asset.

4.1 Selection criteria

Character-Defining-Elements (CDEs), are utilized to represent the various components of a historic place that contribute to its heritage value¹, including its materials, forms, locations, spatial configurations, uses, and cultural associations or meanings. These elements must be preserved in order to maintain the site's heritage value. The CDEs selected are determined by the cultural significance of the site, which was discussed in the previous chapter.

4.2 Level of Significance – Definition of Terms²

The elements are categorized into four levels of significance, each with its own description as follows:

Level of Significance	Meaning
Exceptional	Elements that make a strong contribution to the overall significance of the place. They include spaces, elements, or fabric that were originally of substantial intrinsic quality and exhibit an Exceptional degree of intactness and quality.
Considerable	Elements that make a major contribution to the overall significance of the place. They include spaces, elements, or fabric that were originally of substantial intrinsic quality and exhibit a high degree of intactness and quality, although minor alterations or degradation may be evident.
Some	Elements that make a moderate contribution to the overall significance of the place. They include spaces, elements, or fabric that were originally of some intrinsic quality and may have undergone minor or extensive alteration or degradation.
Little	Elements that make a minor contribution to the overall significance of the place. They include spaces, elements, or fabric that were originally of little quality and may have undergone extensive alteration or degradation or adaptation to the extent that only isolated remnants survive.

4.3 List of Character-Defining-Elements

Character-Defining-Elements (CDEs) refer to architectural features and elements that are essential in defining the distinctive character of a historic building. It is crucial to recognize and preserve these CDEs, repair them appropriately when necessary, and restore them if they have been harmed. The subsequent table lists the CDEs of the Site.

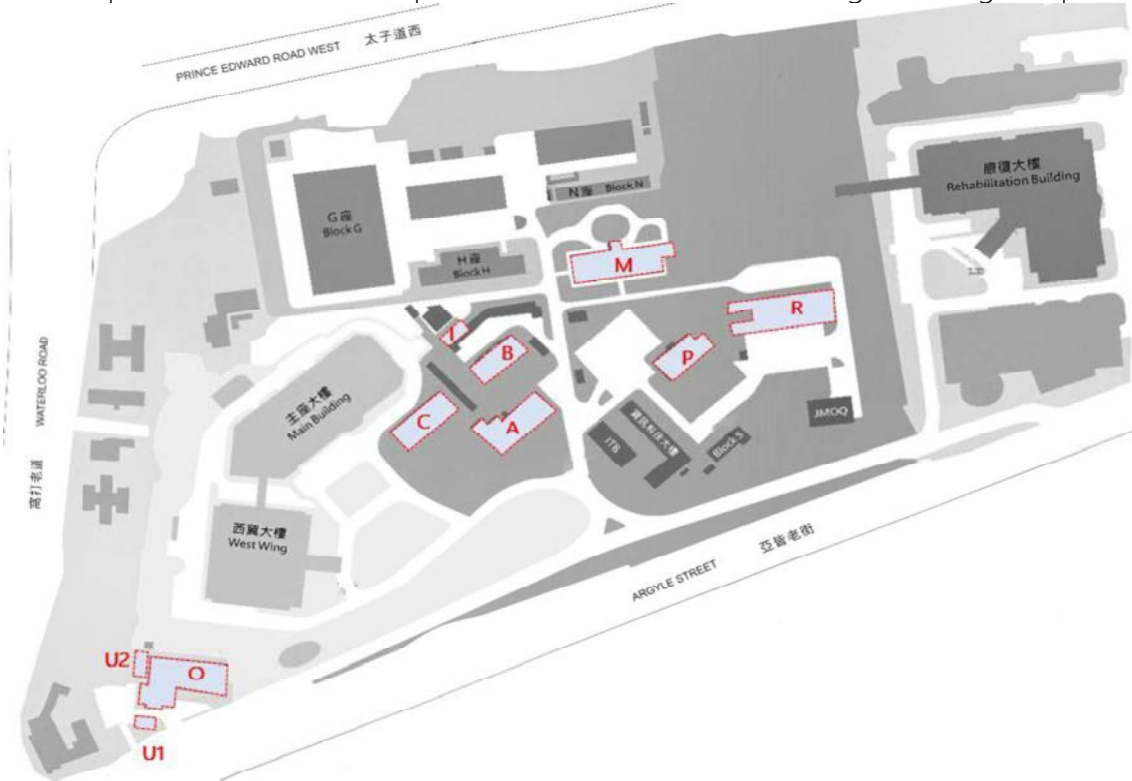
¹ Definition extracted from Standards and Guidelines for the Conservation Historic Places in Canada, Park Canada, 2010

² The definition of terms is developed based on P.19, James Semple Kerr, The Conservation Plan - A guide to the preparation of conservation plans for places of European cultural significance, Australian ICOMOS, 2013

4.3.1 Historic elements

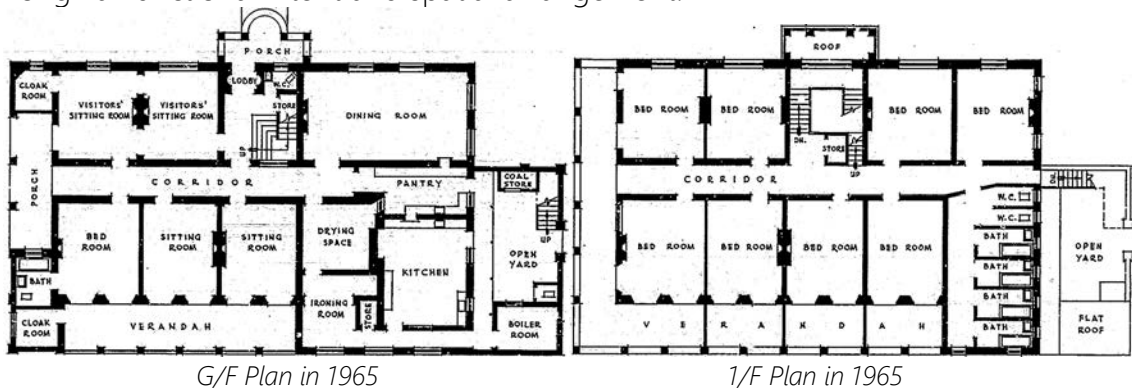
No.	Elements	Level of Significance
HI01	Location of Block P	Considerable

Block P is one of the earliest extant structures in Kowloon Hospital, the first government funded-hospital in Kowloon, it reflects the history of the hospital's development, and maintains spatial connections with the heritage building complex.



No.	Elements	Level of Significance
HI02	Original Internal Layout	Considerable

The internal layout is almost entirely preserved in its original form. This layout embodies the building's historic purpose as quarters for nursing staff, retaining the original functional intent and spatial arrangement.



No.	Elements	Level of Significance
HI03	Nearly Symmetrical Elevations and Plans	Considerable

It is significant as a hallmark of 1920s architecture, demonstrating the Public Works Department's emphasis on balance and functionality.

No reference photo.

4.3.2 Architectural elements (Exterior)

No.	Elements	Level of Significance
AR01	Chinese Style Hip-and-Gable Roof (歇山頂)	Exceptional

It exemplifies the unique blend of Eastern and Western design influences in Block P, making it a standout feature of its 1920s construction.



No.	Elements	Level of Significance
AR02	Double-Roll Double-Pan (雙筒雙瓦) Roof Tiling	Considerable

It reflects the roof's traditional Chinese technique, contributing to its historical authenticity despite its commonality in Hong Kong colonial buildings.



No.	Elements	Level of Significance
AR03	"Cow's Horn" Curling Ends at the Ridge and the Roof Corners	Exceptional

They represent a rare and visually striking architectural feature, unique to the Blocks in Kowloon Hospital, contributing to its cultural rarity and visual prominence.



No.	Elements	Level of Significance
AR04	Chimney in Jointless Grey Gauged Brick Stack at Roof	Considerable

It reflects the functional and aesthetic design of 1920s institutional architecture, contributing to the roof's silhouette and historical authenticity as a nurses' residence.



No.	Elements	Level of Significance
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AR05	Timber Ridge-Batten-Purlin Roof Structure System	Considerable
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It represents the traditional construction technique used in Block P's 1925 roof, underpinning the integrity of the Chinese tiled hipped-and-pitched roof and reflecting the craftsmanship of the era.



No.	Elements	Level of Significance
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AR06	Timber Plank Ceiling under Eave & at Verandah on 1/F	Some
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It defines Block P's 1920s roof design with their traditional craftsmanship, enhancing the roof's historical authenticity and aesthetic detail despite the timber ceiling at verandah has been removed.



No.	Elements	Level of Significance
AR07	Rendered And Painted External Brickwork Walls Painted in Cream Colour and Grey Skirting with Jointless Grey Gauged Brick Accents at all facades	Considerable

It defines Block P's Classical Revival style with their 1920s craftsmanship, enhancing its visual identity and group value within the hospital complex.



No.	Elements	Level of Significance
AR08	Jointless Grey Gauged Brickwork on the G/F verandah columns and chimneys at roof.	Exceptional

Jointless grey gauged brickwork is rare in Hong Kong. It defines Block P's Classical Revival style with Chinese influence and its rare jointless craftsmanship, enhancing its aesthetic elegance and historical significance.



No.	Elements	Level of Significance
AR09	Arches With Grey Gauged Brickwork Column Shaft and Granite Base at the G/F Verandah at the South and East Elevation	Exceptional

It defines Block P's G/F verandah with their Classical Revival design with Chinese influence, enhancing its aesthetic elegance and historical functionality. The existing wall-mounted cleats used to wrap the control rope for curtains suggests that there were likely curtains, awnings, or shades in the past.



The wall-mounted cleats are installed on the Grey Gauged Brickwork Column, facing inward toward the verandahs.

No.	Elements	Level of Significance
AR10	Verandah on the 1/F	Exceptional

It defines Block P's 1920s Classical Revival design, enhancing its aesthetic elegance and historical functionality.



No.	Elements	Level of Significance
AR11	Red and Black Floor Tiles on 1/F Verandah	Some

It is a common feature of 1920s architecture, providing a durable and aesthetically pleasing surface.



No.	Elements	Level of Significance
AR12	Entrance Porch with Square-Section Columns and Pitched Roof Supported by Brackets on the Main Facade	Considerable

It serves as the primary access point to Block P, reflecting its 1920s architectural design and functional role as Sisters' Quarters, while its square-section columns, pitched roof, and brackets contribute to its aesthetic and historical character. The decorated metal balustrade at 1/F reflecting the Arts and Crafts influence.



No.	Elements	Level of Significance
AR13	Fan-Shaped Stone Steps at the Main Entrance	Considerable

It marks the primary access to Block P, reflecting its 1920s architectural design and enhancing the entrance's prominence, while contributing to the building's historical functionality as Sisters' Quarters.



No.	Elements	Level of Significance
AR14	Mat Well / Recessed Mat Area at the Main Entrance	Some

It defines Block P's entrance with its practical 1920s design for cleanliness, reflecting its historical function as Sisters' Quarters and enhancing its authenticity.



No.	Elements	Level of Significance
AR15	Arched alcove at the Main Entrance	Considerable

It reflects Block P's historical function as Sisters' Quarters with its 1920s design for holding religious icons.



No.	Elements	Level of Significance
AR16	Red Tiled Topping of The Parapet Wall at the Main Entrance, Window Sills, and parapet walls of the 1/F Verandah.	Some

It reflects the 1920s architectural practice of using tiled finishes for both functional and decorative purposes, contributing to Block P's aesthetic coherence and historical character.



No.	Elements	Level of Significance
AR17	Circular Porthole with Ceramic Circular Grilles in Bamboo Pattern in South Elevation.	Considerable

It is unique design among the blocks in Kowloon Hospital. It reflects 1920s institutional architecture in Hong Kong, showcasing an Arts and Crafts and Chinese influence through their decorative design.



No.	Elements	Level of Significance
AR18	Louvered Shutter Window on North and South Elevations	Some

It reflects the functional and aesthetic design of 1920s institutional architecture, enhancing the building's ability to adapt to Hong Kong's climate while contributing to its historical character.



No.	Elements	Level of Significance
AR19	Metal Crittall Window Painted Dark Green with Red Tiled and Grey Gauged Brick Window Sill	Some

It combines functional and decorative features typical of 1920s institutional architecture, contributing to Block P's aesthetic coherence and historical character. The ornate handles and decorative backplates with a curvilinear pattern add an Arts and Crafts influence to the windows, enhancing their aesthetic value.



No.	Elements	Level of Significance
AR20	Multi-Paned Glass Door at facades	Considerable

It defines the first-floor verandah's 1920s design, enhancing its historical functionality and aesthetic elegance. Some original door holders still exist and intact.



No.	Elements	Level of Significance
AR21	Metal Staircase Railing at the Service Yard	Some

It defines the service yard's 1920s functional design, enhancing its historical authenticity and safety features.



No.	Elements	Level of Significance
AR22	Cast Iron Rainwater Downpipe at South Facade	Considerable

It defines Block P's 1920s functional design as the only remaining original downpipe, enhancing its historical authenticity and rarity.



No.	Elements	Level of Significance
AR23	Cast Iron Slot Drain Cover at South Facade	Some

It defines Block P's 1920s drainage system with its functional design, enhancing its historical authenticity as part of the building's original infrastructure.



4.3.3 Architectural elements (Interior)

No.	Elements	Level of Significance
AI01	Grand Timber Staircase with Timber Railing	Exceptional

It is common in 1920s colonial architecture. It represents 1920s craftsmanship and aestheticism, enhancing its historical authenticity and aesthetic grandeur.



No.	Elements	Level of Significance
AI02	Circular Wall Opening with Timber Rails Next to the Grand Timber Staircase	Considerable

Along with the Grand Timber Staircase, this staircase area showcases the 1920s design with its decorative element, enhancing its aesthetic charm and historical ambiance.



No.	Elements	Level of Significance
AI03	Fireplace (G/F: Function Rooms, Offices ; 1/F: Offices, Multi-Function Room)	Exceptional

Fourteen fireplaces showcase 1920s domestic design in an institutional setting. Their original timber and tiled design, enhancing its historical authenticity and domestic ambiance as Sisters' Quarters.



No.	Elements	Level of Significance
AI04	Timber Ceiling Joist	Some

It only remains on the ceiling of grand staircase on 1/F. It is a characteristic of colonial construction, exemplifying 1920s construction techniques and contributing to the building's interior structural authenticity.



No.	Elements	Level of Significance
AI05	Coved Ceiling at the G/F Ceiling, excepting Staff Pantry and Toilets	Some

It reflects the 1920s architectural style and also represent a common interior design feature in 1920s colonial buildings, showcasing attention to detail and refinement.



No.	Elements	Level of Significance
AI06	Timber Picture Rail in the Function Rooms, Offices and Meeting Rooms on G/F, as well as the Multi-Function Room and Offices on 1/F.	Some

It presents in all original bedrooms and sitting rooms of Block P, a characteristic feature of 1920s interiors. They reflect the building's original aesthetic as the Sisters' Quarters.



No.	Elements	Level of Significance
AI07	Painted Interior Brickwork Wall in the Pantry, Corridor, Function Rooms, Offices and Meeting Rooms on G/F, as well as the Corridor, Multi-Function Room, Toilets and Offices on 1/F.	Little

All interior walls except utility space, e.g. kitchen and toilet, are all painted. It reflects the period's design preferences for clean and functional finishes.



No.	Elements	Level of Significance
AI08	Plastered Skirting on all Internal Walls of the Corridors, Function Rooms, Offices, Meeting Rooms Multi-Function Room, and 1/F Toilets.	Some

It is a typical feature of 1920s interiors, providing protection and a finished appearance, enhancing the transition between wall and floor.



No.	Elements	Level of Significance
AI09	Metal Curtain Pelmet in all Offices on G/F.	Some

It is a typical feature of 1920s interiors, reflecting the period's attention to decorative detail.



No.	Elements	Level of Significance
AI10	Teak Floor in all Function Rooms, Offices, Stores, Corridor and Meeting Rooms, and Multi-Function Room.	Considerable

It is a high-quality feature of 1920s interiors, showcasing durable and elegant craftsmanship.



No.	Elements	Level of Significance
AI11	Red Tiled Flooring in Toilets, Pantry, Staff Common Room on G/F, and 1/F Verandah.	Some

It is representing 1920s functional and aesthetic design, enhancing the visual character of the spaces.



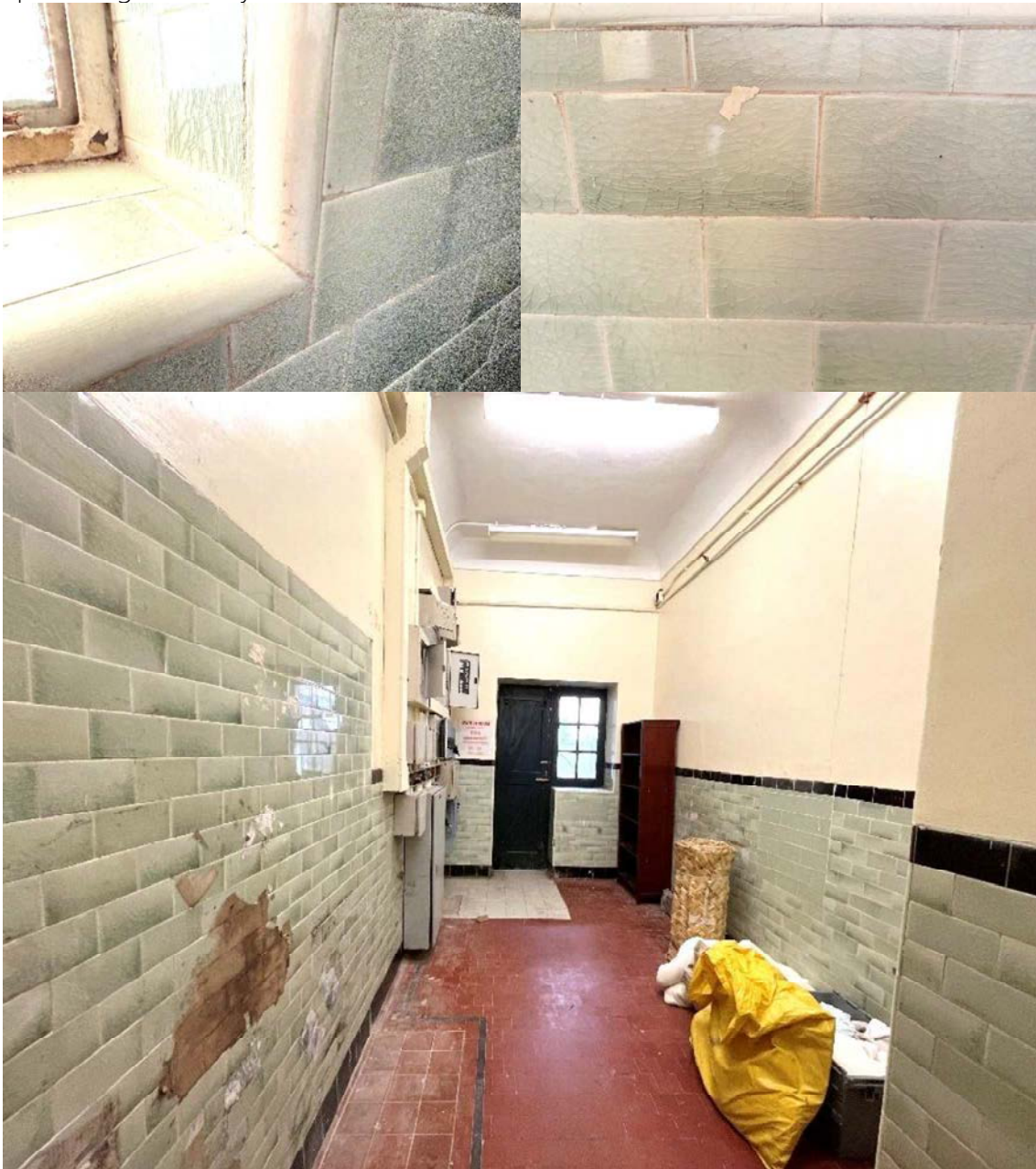
No.	Elements	Level of Significance
AI12	Indoor Granite Threshold in G/F Offices	Some

They present at the doors to 1/F Verandah. It is a typical feature of 1920s architecture, ensuring safe passage while using durable materials.



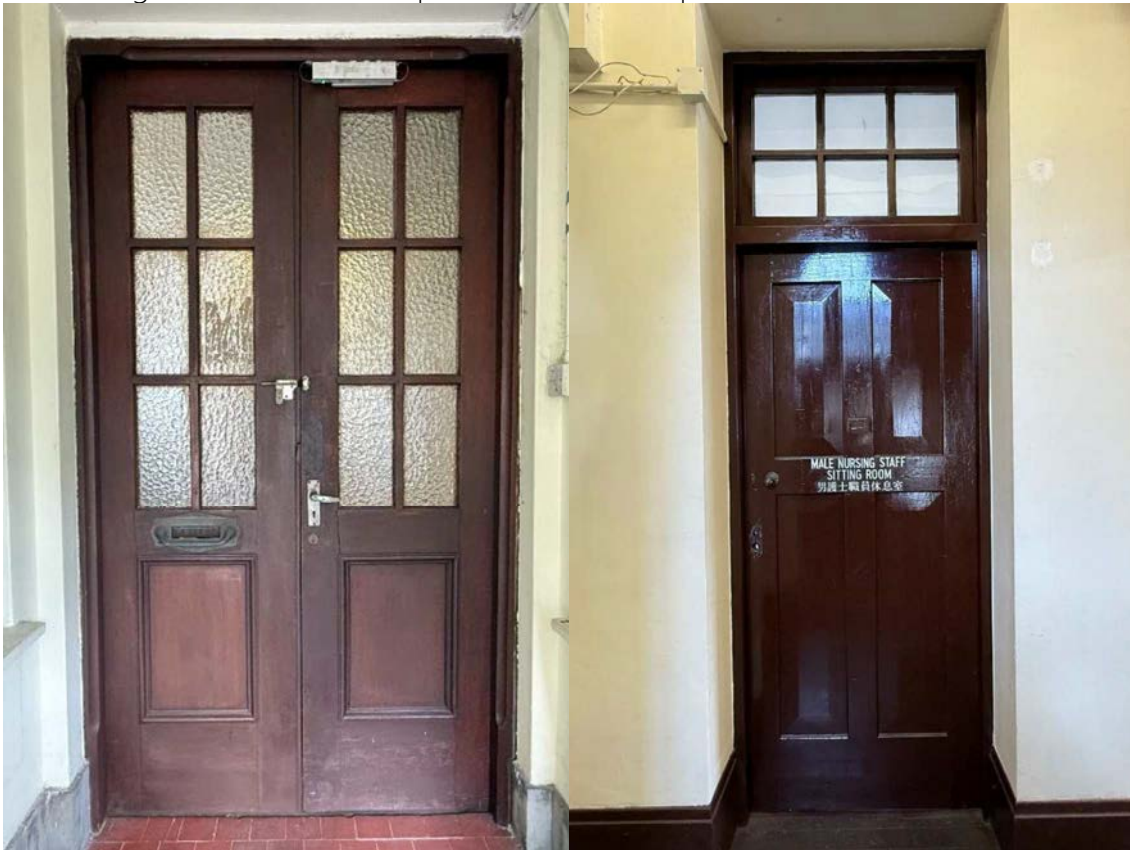
No.	Elements	Level of Significance
AI13	Ceramic Wall Tiles in the Pantry and Staff Common Room on G/F.	Some

They present at walls of utility rooms. It is a typical feature of 1920s interiors, providing durability and cleanliness.



No.	Elements	Level of Significance
AI14	Timber Door in all Rooms.	Considerable

They are typical feature of 1920s architecture, with some retaining original ironmongeries that showcase period craftsmanship.



No.	Elements	Level of Significance
AI15	Timber Window Sill in every Rooms	Some

It a typical feature of 1920s interiors, providing a functional and decorative element.



No.	Elements	Level of Significance
AI16	Timber Toilet Cubicle Door in the 1/F Toilet	Exceptional

Only two remaining timber toilet cubicle doors. They are rare surviving elements in Hong Kong, showcasing 1920s institutional bathroom design and craftsmanship.



No.	Elements	Level of Significance
AI17	Alcove in the G/F Staff Common Room.	Considerable

This alcove possibly for a sink or stove as this was the kitchen in the past. It is a feature of 1920s kitchens, providing insight into the daily operations of the sisters. It also defines the old kitchen's 1920s layout with its functional design, reflecting the building's original use as Sisters' Quarters.



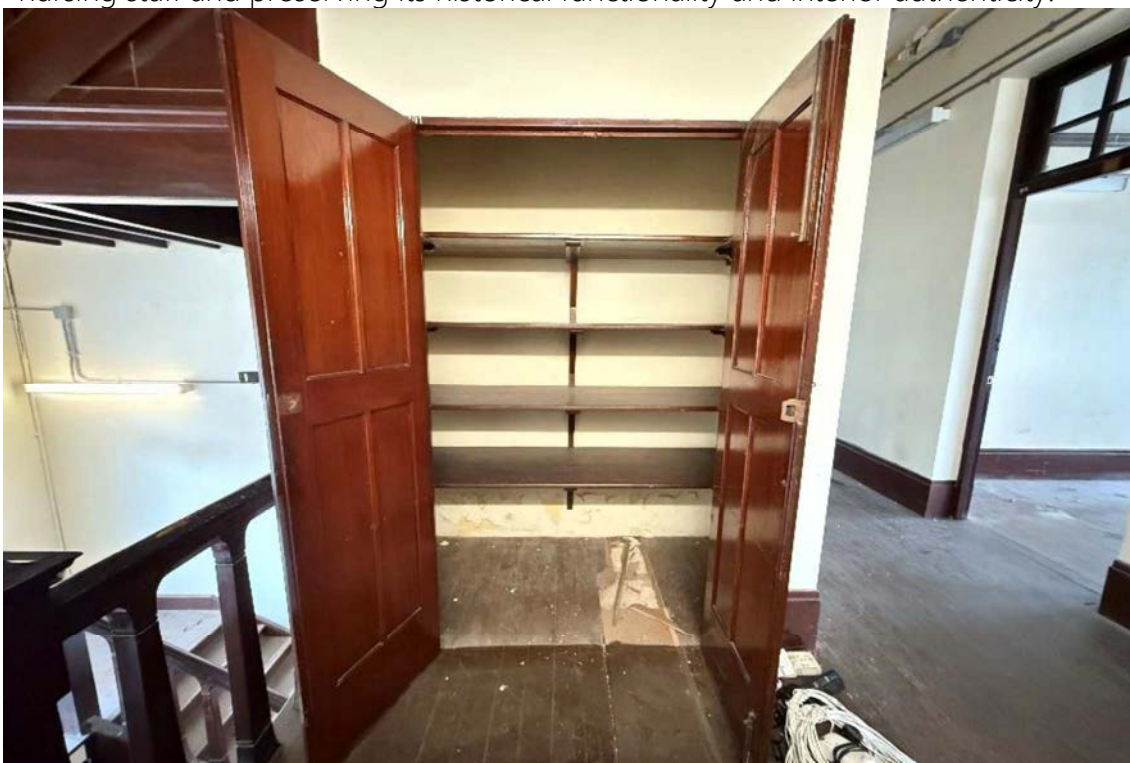
No.	Elements	Level of Significance
AI18	Metal Letter Slot in the Main Entrance Door.	Considerable

It is at the main entrance door. Letter slots were commonly used in the late 19th and early 20th centuries, before modern mailboxes became more widespread. It is reflecting the building's original use as Sisters' Quarters.



No.	Elements	Level of Significance
AI19	Built-In Storage Cabinet in the 1/F Stores.	Considerable

The only one huge cabinet remains on 1/F. It is reflecting the practical needs of nursing staff and preserving its historical functionality and interior authenticity.



No.	Elements	Level of Significance
AI20	Mirror with Ceramic Frame in G/F Toilets next to Main Entrance.	Some

The only one in the toilet on G/F. It is a rare surviving feature in modern-day Hong Kong, showcasing 1920s bathroom design and craftsmanship.



No.	Elements	Level of Significance
AI21	Brick Arch in The Roof Void (Above Ceiling Level)	Considerable

It defines the roof void with its old structural design, facilitating circulation above the original timber ceiling.



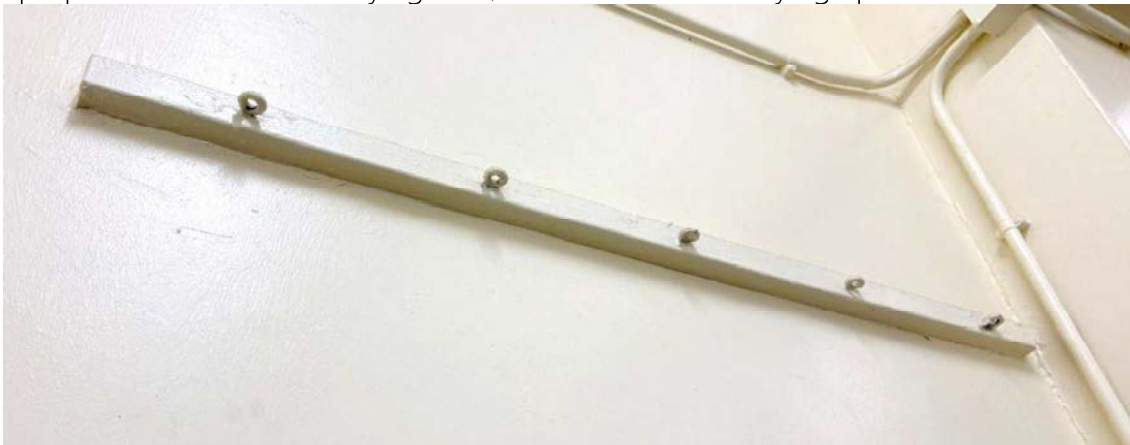
No.	Elements	Level of Significance
AI22	Timber Staircase Leading to The Roof Void	Exceptional

It is facilitating access to the roof void for maintenance and reflecting the building's practical design for operational needs.



No.	Elements	Level of Significance
AI23	Drying Rack in G/F Pantry	Little

It was used to dry clothes in the ground-floor room - reflecting the space's original purpose as a dedicated drying area, hence the name "Drying Space."



5.1 Overview

This section outlines the opportunities and constraints facing Block P during its transition from sisters' quarters to storage and staff recreation areas, and now to office spaces. Adaptive reuse provides an important opportunity to enhance the building's cultural value and ensure its sustainable future, while raising challenges that require careful balancing of heritage preservation and modern functionality – key to securing a viable long-term future for this Grade 2 historic building.

5.2 Opportunities

5.2.1 Heritage Elements as Storytelling Assets

Block P's historical fabric—such as the central corridor, preserved timber doors, steel windows, and verandahs—reflects its original use as the Sisters' Quarters, providing valuable evidence of its role within Kowloon Hospital. These elements serve as tangible links to the past, offering rich storytelling potential that can educate and engage users about the evolution of healthcare in Kowloon. For instance, the central corridor and verandahs illustrate early 20th-century architectural responses to Hong Kong's tropical climate, promoting natural ventilation and communal spaces for nursing staff. To fully realize this potential, any modifications must prioritize the integrity of these elements, ensuring that modern adaptations do not overshadow their historical authenticity.

5.2.2 Enhancing Significance Through Adaptive Reuse

Given Block P's cultural significance, its adaptive reuse as office spaces offers an opportunity to ensure a sustainable future while enriching its social value. By repurposing the building for administrative functions, the project aligns with its original capacity as residential quarters, avoiding incompatible uses that could strain its structure. This reuse can amplify the building's historical narrative, thereby strengthening its role in Kowloon's medical heritage. For example, preserving key architectural features like the pitched roof and classical façade can symbolize continuity, while subtle modern integrations demonstrate how heritage buildings can contribute to contemporary society. Interventions must balance preservation of historic fabric with functional needs, ensuring minimal impact on elements of exceptional significance, such as original fireplaces or timber flooring. Ultimately, this approach not only safeguards the building from vacancy-related deterioration but also positions it as a model for adaptive reuse in Hong Kong, potentially inspiring similar projects and boosting the Hospital Authority's reputation for heritage stewardship. The adaptive reuse enhances the building's significance by sustaining its cultural and historical values, serving as a good example of passing heritage to the next generation.

5.2.3 Upgrading for Modern Functionality

The renovation offers opportunities to upgrade Block P through roof structural repairs, fire safety enhancements, and internal improvements. These upgrades will improve safety, energy efficiency, and accessibility, showcasing conservation best practices.

Specifically, structural reinforcements to the roof can address historical vulnerabilities to reduce operational costs and environmental impact. Fire safety measures, like installing modern fire suppression systems in a reversible manner, can protect the building without compromising its aesthetics. Internal enhancements, such as updated electrical and plumbing systems, will enable seamless office operations. This modernization can serve as a demonstration of how heritage structures can meet 21st-century standards, potentially qualifying for green building certifications and setting a precedent for other historic sites in the Hospital Authority's portfolio. However, the phased approach involving multiple subcontractors may lead to inconsistencies, requiring strict adherence to the conservation guidelines to ensure that upgrades enhance rather than detract from the building's heritage value.

5.2.4 Advancing Accessibility and Inclusivity

The project provides an opportunity to enhance accessibility, with barrier-free upgrades like tactile warning strips, braille on staircases, and new handrails making Block P inclusive for all users. These modifications can broaden the building's appeal, ensuring it serves diverse groups, including people with disabilities, and elderly staff, thereby aligning with modern inclusivity standards. For instance, installing ramps at entrances and adjusting door widths can facilitate easier movement without altering the building's core layout, while braille signage can integrate educational heritage content. This not only complies with statutory requirements but also elevates the social significance of Block P by promoting equity in a historic context.

5.3 Constraints

5.3.1 Heritage Obligation and Conservation Standards

The Burra Charter (2013), accepted by the Antiquities and Monuments Office (AMO) of the HKSAR Government as the primary guide for conservation practices, provides the framework for Block P's conservation policy. The following Burra Charter articles, relevant to Block P, outline obligations for its conservation:

- **Article 2:** Ongoing protection and upkeep of key elements are essential components of effective stewardship for culturally significant places. This requires regular inspections and maintenance plans, which can strain operational budgets over time.
- **Article 3:** Conservation efforts should prioritize minimal disruption to the original materials, guided by respect for their historical use, meaning, and associations, adopting a cautious stance of altering only what is necessary and to the smallest degree possible. This limits the scope of modifications, potentially increasing design complexity and costs.
- **Article 4:** A broad range of expertise, skills, and disciplines should be utilized to study and maintain the site. Engaging multidisciplinary teams, including architects, historians, and engineers, adds to project timelines and expenses.

- **Article 8:** The site's visual context - including its shape, scale, colour, texture, and materials - must be preserved, and no new developments or actions should diminish its heritage value. This restricts external alterations, requiring careful material matching and potentially vetoing innovative designs.
- **Article 10:** Items such as furnishings, fixtures, and objects that enhance the site's cultural importance should remain in place. Retaining outdated features may conflict with modern functional needs, necessitating creative compromises.
- **Article 22:** New additions that do not compromise or conceal the site's cultural significance may be permissible, provided they are clearly distinguishable as modern interventions. This demands high design standards to avoid visual discord, which can elevate costs.
- **Article 27:** Existing materials must be documented prior to any alterations. Comprehensive recording processes, such as 3D scanning or archival photography, require upfront investment.
- **Article 28:** Limited disturbance of materials is allowed if it provides critical insights for conservation decision-making. This cautious approach may delay works during investigative phases.
- **Article 30:** Qualified oversight and direction should be maintained throughout all phases of work. Continuous supervision by heritage experts increases labour costs.
- **Articles 27, 31 & 32:** Records of new findings and decisions should be preserved for future reference. Ongoing documentation obligations add administrative burdens.
- **Article 33:** Any culturally significant materials removed during the process should be stored securely. Secure storage facilities and cataloguing systems represent additional logistical challenges.
- **Article 34:** Sufficient funding and resources must be allocated to support conservation activities. This underscores the need for robust budgeting, which may compete with other hospital priorities.

Implementing these articles ensures sustainable conservation but requires significant resources, including professional oversight, stakeholder engagement, and experienced contractors. Failure to comply could result in regulatory delays or loss of heritage grading, emphasizing the need for close collaboration with AMO throughout the project.

5.3.2 Addressing Structural and Wear Challenges

Block P's satisfactory condition supports effective restoration, but increased office use may accelerate wear on heritage elements, posing a challenge. For example, higher foot traffic could exacerbate deterioration of original timber floors or expose vulnerabilities in the brickwork, while environmental factors like humidity may promote termite infestations or material decay. Proactive maintenance, including regular structural assessments and pest control measures, is essential to mitigate these risks and ensure longevity. This constraint necessitates a detailed management plan, potentially involving specialized contractors for periodic interventions, which could increase long-term costs. Additionally, any unforeseen structural issues discovered during future repair works may require adjustments to the project scope, highlighting the importance of contingency planning to balance preservation with operational demands.

5.3.3 Navigating Resources and Funding Demands

The project requires substantial resources, including funding, professional expertise, and experienced contractors, as per Burra Charter Article 34. While this offers an opportunity to exemplify best practices in heritage conservation, limited budgets or expertise may hinder quality, necessitating collaboration with AMO and sufficient resource allocation by HA to meet conservation standards. For instance, sourcing heritage-compatible materials or hiring heritage consultants can drive up costs, while funding constraints might limit the extent of interpretive features. To address this, budgeting and potential partnerships with heritage organizations could be explored, but overall, it underscores the tension between ambitious conservation goals and practical fiscal limitations.

6.1 Introduction

The conservation principles and guidelines outlined here provide a framework for preserving the cultural significance of Block P at Kowloon Hospital during its adaptive reuse as office spaces. These policies aim to guide the long-term management, maintenance, and future development of the building, ensuring its historic, architectural, and social values are protected while supporting its new function. The guidelines are intended for use by HA, future operators, and the maintenance teams, aligning with the objectives of this HIA.

6.2 Conservation Policy

The following principles establish the foundational aims for conserving Block P, to be adopted by the HA and all stakeholders involved in its management and care:

Principle 1: The Statement of Cultural Significance, as outlined in Chapter 3 of this HIA, shall serve as a primary basis for all future planning, conservation works, and adaptive reuse decisions for Block P.

Principle 2: Conservation and development activities shall adhere to the principles of the Australia ICOMOS Charter for Places of Cultural Significance (Burra Charter, 1979, revised 2013), ensuring internationally recognized best practices.

Principle 3: Recommendations for conserving specific heritage fabric, spaces, and qualities of Block P, as detailed in this HIA, shall be endorsed by all parties (Antiquities and Monuments Office, Hospital Authority, and Heritage Consultant) as a guide for future interventions, consistent with Burra Charter principles.

Principle 4: Areas of exceptional and considerable significance (e.g., Chinese tiled roof, grey gauged brickwork, verandahs) shall only be adapted in ways that do not compromise their character or cultural significance.

Principle 5: Future development shall minimize or avoid adverse impacts on Block P and its surrounding setting, preserving the Kowloon Hospital's heritage group value, including Block A, B, C M, P, R, Outpatient Block, Isolation Block, and Utility Buildings.

Principle 6: Adaptive reuse shall balance functional requirements with heritage conservation, ensuring Block P remains a sustainable heritage place for future generations.

6.3 Conservation Guidelines

These conservation guidelines reflect the vision and philosophy articulated by the principles above, providing actionable directives for the renovation and ongoing management of Block P. All proposed works shall comply with these guidelines. Stakeholders unfamiliar with Block P's heritage values should refer to relevant sections of this HIA, as well as supplementary plans and specifications prepared by a conservation consultant. The vision of these conservation guidelines for Block P is to:

- Protect and enhance the historic, architectural, and social values of Block P as the foundation for all interventions.
- Achieve a sustainable balance between heritage conservation and the new office use, ensuring long-term preservation and functionality.

Guideline 1: Recognize Block P as a Heritage Place of Cultural Significance

Block P is a heritage place of cultural significance, as demonstrated in section 3.2 of this HIA, with values rooted in its historic role as Sisters' Quarters, architectural rarity, and social importance to Kowloon. Future managers, operators, and users must formally acknowledge this significance, ensuring their roles and responsibilities are understood through regular consultations with HA and AMO to balance objectives and priorities.

Guideline 2: Apply Internationally Recognized Conservation Principles

Conservation works shall adhere to principles from the Burra Charter (1979, revised 2013), Principles for the Conservation of Heritage Sites in China (2003), and Standards and Guidelines for the Conservation of Historic Places in Canada (2010), ensuring Block P aligns with global best practices.

Guideline 3: Ensure Health, Safety, and Risk Preparedness

Implement a risk preparedness regime by complying with health, safety, fire, and structural regulations, including regular inspections of mechanical equipment, electrical systems, and fire safety installations (e.g., sprinkler tanks, hose reels). Periodic reviews shall monitor the building's performance, addressing risks like termite presence and ensuring barrier-free access.

Guideline 4: Undertake Works Appropriate to Levels of Significance

Works shall correspond to the levels of significance identified in Chapter 4 of this HIA, prioritizing preservation of elements with exceptional significance (e.g., Chinese tiled roof, verandah) through minimal intervention, while allowing reversible adaptations in areas of lesser significance.

Guideline 5: Promote Sustainable Conservation Practices

Renovation works shall emphasize maximum reversibility, minimum intervention, and reuse of salvaged materials (e.g., canton tiles, grey bricks), with immediate treatment

of endangered fabric like spalled concrete or cracked tiles. Removed materials shall be assessed by a conservation architect for reuse before disposal.

Guideline 6: Restrict New Development to Outside the Historic Boundary

New developments, such as the Sprinkler Water Tank, FS Water Tank, and Pump Room, shall be located outside Block P's historic boundary to minimize physical and visual impact.

Guideline 7: Preserve the Setting of Block P

The setting of Block P, including its relationship with surrounding greenery and other historic blocks (e.g., Blocks A, B, R), shall be preserved by minimizing impacts from new developments, protecting existing trees, slopes, and external features.

Guideline 8: Extend Conservation to Current and Future Interventions

When feasible, replace unsightly past interventions (e.g., modern air conditioners) with heritage-sensitive solutions, and ensure new additions (e.g., fire protection enclosures, louvres) are designed to harmonize with the historic fabric.

Guideline 9: Document Block P Thoroughly Before and After Works

Conduct a cartographic and photographic survey of Block P's current state before renovation and document all conservation and building works (e.g., roof repairs, window restoration) with as-fitted drawings and photos, archiving records with HA and AMO for future reference.

Guideline 10: Engage Qualified Conservation Professionals

All conservation works, including repairs to the Chinese tiled roof, timber doors, and steel windows shall be supervised by a qualified architectural conservation consultant (e.g., HKICON Corporate Member), with contractors experienced in heritage techniques, ensuring high-quality preservation aligned with international standards.

Guideline 11: Integrate Sustainability into Conservation Practices

Use sustainable materials (e.g., mineral paints) and methods (e.g., reusing salvaged tiles) to minimize environmental impact while preserving heritage value, ensuring energy efficiency in new office spaces without compromising historic elements.

7.1 Introduction

This Management and Maintenance Plan outlines the approach for managing Block P at Kowloon Hospital following its adaptive reuse. The strategy aims to safeguard the building's cultural significance as a Grade 2 historic building while ensuring its functionality for modern use. Managers, maintenance staff, and occupants responsible for its future operation must thoroughly understand and implement this Plan to preserve Block P's historic elements in alignment with its new role, adhering to the principles of the Burra Charter and the requirements of the AMO.

7.2 Use and Operation

Block P will be converted into office spaces, as outlined in the scope of works. This change is expected to increase occupancy and foot traffic, placing additional strain on the structure. To manage this:

Occupancy Monitoring: Implement regular monitoring of occupancy levels during office hours to prevent overloading, particularly in areas with preserved all interior timber floors and all interior staircases.

Operational Guidelines: Develop a clear operational guide for on-site staff, detailing usage limits, emergency procedures, and reporting mechanisms for maintenance issues, ensuring minimal impact on heritage elements like the preserved windows and doors.

Staff Training: Train office staff on heritage awareness to minimize wear on historic features, such as the internal staircase and ceramic dado tiles ensuring careful use of the space.

Access Control: Restrict access to Block P to authorized hospital staff only, with no public entry permitted, to maintain security, operational efficiency, and the integrity of the heritage fabric.

Accessibility Arrangements: To promote inclusivity while respecting the building's historic constraints, staff with disabilities will be assigned to workstations on the ground floor only. No additional escalators or elevators will be installed in the building. Staff facilities, including the pantry and toilets, are provided on the ground floor to ensure full accessibility for these staff members.

7.3 Maintenance Management Plan

Block P has been maintained in satisfactory condition through regular care, despite limited recent use. With its new office function, increased wear is anticipated, necessitating a proactive maintenance plan to prevent deterioration and extend the building's lifespan. Post-renovation, ongoing care will focus on preserving heritage elements while addressing modern operational needs.

Routine Inspections: Conduct quarterly inspections of key historic elements, including the Chinese tiled roof, grey gauged brickwork, verandahs, timber doors, and steel windows, to identify early signs of damage.

Annual Structural Reviews: Perform annual checks on the roof (e.g., hip rafters, battens, tiles), external walls, and brick columns to ensure structural integrity, addressing issues like spalling concrete and cracks.

Regular Surface Maintenance: Inspect and clean interior and exterior surfaces (e.g., walls, ceilings, floors) biannually, repairing finishes like ceramic tiles and anti-mould paint to maintain their condition.

Drainage and Plumbing Care: Routinely clear and service drainage systems, including gutters and new uPVC drainpipes, to prevent water damage to the historic fabric.

Heritage-Sensitive Repairs: Use materials and methods matching the original (e.g., lime plaster for roof repairs, wood stain for timber doors) to ensure historical accuracy, replacing features only when repair is not feasible.

Environmental Monitoring: Monitor humidity and temperature levels to protect timber elements (e.g., doors, staircases) and prevent termite activity, building on the termite mud tube removal.

Fire Safety Maintenance: Regularly inspect and maintain new fire safety systems (e.g., sprinkler tanks, hose reels) to ensure functionality without compromising heritage elements.

7.4 Future Development

Block P is situated within a historically cohesive area of Kowloon Hospital, surrounded by greenery and modest 1920s–1930s buildings, preserving the hospital’s original character. Following this renovation, no major alterations are anticipated in the near future. As a Grade 2 historic building, any future modifications must:

AMO Consultation: Require prior consultation with the AMO to ensure compliance with heritage regulations and guidelines.

Conservation Standards: Follow international preservation standards (e.g., Burra Charter, Venice Charter) and be led by an experienced and chartered heritage consultant.

Minimal Intervention: Prioritize minimal intervention to preserve the building’s authenticity, focusing on repairs over replacements, especially for elements like the Chinese tiled roof and grey brickwork.

Adaptive Reuse Compatibility: Ensure any future use aligns with the building’s structural capacity and heritage value, avoiding significant alterations to the original layout, such as the central corridor and staircase.

7.5 Documentation

Comprehensive documentation is critical for Block P’s long-term management and preservation, providing a record for future reference and ensuring transparency in conservation efforts.

Pre-Construction Survey: Conduct a full photographic survey of Block P's current state before renovation begins, capturing details of heritage elements like the roof, verandahs, and windows.

Post-Construction Records: Prepare final as-fitted drawings, progress photos, and a completion report upon project completion, documenting all changes, including new partitions and fire safety systems.

Maintenance Logs: Maintain detailed logs of inspections, repairs, and maintenance activities (e.g., roof repairs, window restoration) to track the condition of heritage elements over time.

Central Repository: Store all documentation this HIA, project details, surveys, drawings, and logs at the Hospital Authority's management hub, ensuring accessibility to site supervisors, occupants, technicians, and heritage conservation experts for future reference.

Digital Backup: Create digital backups of all records, including CDs or cloud storage, to ensure long-term preservation and accessibility.

7.6 Interpretation

The renovation will alter some historic features, such as internal partitions and fanlights, potentially affecting Block P's original layout and character. To maintain its heritage narrative:

Educational Materials: Develop interpretive materials (e.g., signage, interpretation board) to explain Block P's history as Sisters' Quarters, its architectural significance (e.g., Chinese tiled roof, grey brickwork), and its role in Kowloon Hospital's development.

Heritage Display: Install a small display area in the office space showcasing historical photos, artifacts (e.g., original tiles), and a timeline of Block P's history, managed by HA.

Staff Awareness: Include heritage information in staff induction programs to foster appreciation and careful use of the space, particularly for preserved elements like the staircase, roof, brick and tile, etc.

7.7 Knowledge Sharing and Feedback

Effective management requires ongoing communication with stakeholders to ensure the plan remains relevant and responsive to Block P's needs.

Stakeholder Engagement: Share the HIA findings and Conservation Management Strategy (CMS) key points with occupants, maintenance staff, and HA management, ensuring they understand their roles in heritage preservation.

Feedback Mechanism: Establish a feedback system allowing staff and occupants to report issues (e.g., structural concerns, wear on heritage elements) and suggest improvements, fostering adaptive management.

Annual Review: Conduct an annual review of the CMS with input from the AMO, HA, and conservation experts to update maintenance strategies based on Block P's condition and usage patterns.

Training Workshops: Organize periodic workshops for maintenance staff on heritage-sensitive repair techniques (e.g., using lime plaster, preserving timber).

7.8 Emergency Preparedness

To protect Block P from unforeseen events that could damage its heritage value, an emergency preparedness plan is essential.

Risk Assessment: Identify potential risks (e.g., fire, water damage, structural failure) and develop mitigation strategies, considering the new fire safety systems.

Emergency Response Plan: Create a detailed plan for fire, flooding, or structural emergencies, including evacuation procedures, contact lists for AMO and conservation experts, and protocols for protecting heritage elements (e.g., covering windows, securing doors).

Regular Drills: Conduct annual emergency drills with office staff to ensure preparedness, focusing on protecting preserved features like the timber staircase and ceramic tiles. This includes specific training for new staff on the proper fire escape routes, highlighting the central staircase as the sole vertical escape path.

Insurance Coverage: Ensure Block P is covered under an insurance policy that includes heritage-specific clauses to fund repairs in case of damage, coordinating with HA management.

7.9 Sustainability and Environmental Management

Sustainability measures will support Block P's long-term preservation while minimizing environmental impact.

Energy Efficiency: Incorporate energy-saving devices (e.g., LED lighting, motion sensors) in office spaces to reduce power usage, ensuring compatibility with heritage elements, as per the scope of works' focus on low VOC materials.

Waste Management: Implement a waste management plan during maintenance, ensuring debris from repairs (e.g., roof tiles, plaster) is disposed of responsibly.

Water Conservation: Regularly inspect new plumbing systems (e.g., sanitary fitments, drains) to prevent leaks, conserving water and protecting the building from moisture damage.

Sustainable Materials: Use environmentally friendly materials for repairs (e.g., low VOC paints, natural lime plaster) to minimize ecological impact while preserving historical accuracy.

7.10 Conclusion

This Management and Maintenance Plan provides a comprehensive framework to preserve Block P's cultural significance while supporting its new role as office spaces. By implementing structured maintenance, emergency preparedness, sustainable practices, and community engagement, the plan ensures that Block P remains a valued heritage asset within Kowloon Hospital, balancing functionality with historical integrity.

8.1 Introduction

The adaptive re-use of Block P at Kowloon Hospital shifts its purpose from storage and staff recreation areas to office spaces, involving renovation and enhancement tasks grouped into the following categories:

- i. Restoration Works
- ii. Demolition Works
- iii. Builder's Works
- iv. Building Services Upgrading Works
- v. Upgrading Works for Statutory Compliance

8.2 Restoration Works

To preserve Block P's Character-Defining Elements, the following restoration works are planned:

1. Roof

- i. Repairs to hip rafters and battens with steel plate.
- ii. Replacement of timber battens and broken pan tiles.
- iii. Repairs to crack repairs with lime sand mortar.
- iv. Gutter clearing.

2. External Façade

- i. Stripping and repainting external walls.
- ii. Replacement of damaged canton tiles.

3. Internal Finishes

- i. Repair of debonded plaster and repainting internal walls with mineral silicate paint.
- ii. Repair of debonded plaster and repainting G/F concrete soffits.
- iii. Repair and repolish of teak floors in Function Rooms, Servers Room, Corridor, Offices and Meeting Room on G/F, and Offices, Multi-Function Room, Toilet, Corridor, Store, and Grand Timber Staircase on 1/F. (See dwg. KH-042-RIC001-F001 & 002)
- iv. Repair of loose and broken floor tiles matching existing in the Pantry, Storeroom, Staff Common Room and 1/F Verandah.
- v. Preservation of ceramic light green dado tiles.
- vi. Strip off and repaint of fireplace. (See dwg. KH-042-RIC001-D001 & 002)

4. Verandah Ceiling

- i. Restoration of timber plank ceiling at 1/F verandah matching original design.

5. Timber and Windows

- i. Restoration of timber doors and frames with repainting and new locks.
- ii. Restoration of metal windows with repainting and new locks.

iii. Restoration of timber shutter windows.

6. Grand Timber Staircase

i. Cleaning and waxing the existing timber staircase.

7. Timber Door

i. Reverse the swing of the main entrance door to open outward.

8. Structural Repairs

i. Repair of concrete spallings (approx. 5% ceiling areas).

ii. Repair of concrete cracks (30m).

8.3 Demolition Works

To facilitate the renovation works, the following demolition works are proposed. Refer to the drawings (KH-042-RIC001-DP001 & 002) in the appendix for details:

1. Demolition:

i. Removal of timber doors in the existing toilets, Female Nursing Staff Changing Room and Male Nursing Staff Changing Shower Room,

ii. Removal of sink cabinets, shelves, sanitary fitments, plumbing pipes in toilets and staff pantry,

iii. Removal of a small portion of wall partitions, steel posts at 1/F Toilet.

8.4 Builder's Works

To meet the needs of the new office spaces, the following builder's works are proposed. Refer to the drawings in the appendix for details:

1. Roof

i. Re-application of a waterproofing system at roof. (See dwg. KH-042-RIC001-D004)

2. New Partitions

i. Construction of 3000mm(H) and full height lightweight block walls for the 1/F toilets and the shower area of Female Staff Changing Room at G/F respectively. Moreover, installation of gypsum board drywall for the server room. (See dwg. KH-042-RIC001-D001 & 002)

3. New Doors

i. Installation of new timber doors in corridors, female/male staff changing rooms, and toilets on the ground floor, as well as in corridors and toilets on the first floor (See dwg. KH-042-RIC001-D001 & 002)

ii. Installation of the new fire rated door in the staircase well. (See dwg. KH-042-RIC001-D001 & 002)

4. New Louvre

i. Installation of new weatherproof GMS louvres at fanlight level for mechanical ventilation intake and exhaust in Function Room on G/F and Office 103 on 1/F.

5. New Internal Finishes

- i. Installation of mineral fiber ceiling system at staff common room and pantry on G/F, and the corridor, offices and multi-function room on 1/F. (See dwg. KH-042-RIC001-C001 & 002)
- ii. Installation of aluminium ceiling panels in staff changing rooms and toilet on G/F and toilets on 1/F. (See dwg. KH-042-RIC001-C001 & 002)
- iii. Installation of anti-slip homogeneous floor tiles in Small Storeroom, Staff Changing Rooms and Toilet on G/F, and Toilets on 1/F. Installation of carpet tiles in office areas to enhance comfort and aesthetics. (See dwg. KH-042-RIC001-F001 & 002)
- iv. Application of waterproofing to the floor of all toilets and changing rooms.

6. Fireplace Protection

- i. Installation of transparent panels between the fireplaces and office desks in Function Room, Multi-Function Rooms, Offices.

7. Furniture and Fixtures

- i. Installation of new sink cabinets with stainless steel sinks in the pantry on G/F. (See dwg. KH-042-RIC001-D001)
- ii. Installation of sanitary fixtures (wash basins, water closets, showers, mirrors) in toilets. (See dwg. KH-042-RIC001-D001 & 002)

8. Future Maintenance

- i. Installation of new GMS supporting steel frame and inspection walkway at roof void (above 1/F ceiling level). (See dwg. KH-042-RIC001-D003)

9. Miscellaneous

- i. Installation of new venetian blinds behind all windows.

8.5 Building Services Upgrading Works

Several upgrades to the Block P's systems are planned to meet the needs of the new office spaces, including:

1. Air Conditioning Upgrades:

- i. Installation of new A/C systems with support for direct contractors, including VRV units and PAU equipment in specified rooms planned in the future

2. Plumbing and Drainage:

- i. Replacement of all drainpipes and plumbing pipes in the toilets and pantry. Repainting exposed outdoor pipes to match surrounding colour.
- ii. Installation of a new flushing water tank, flushing water booster pump and pressure vessel outside the building.
- iii. Installation of a new water tank and sprinkler water tank outside the building.

3. Lighting and Electrical Provision:

- i. Replace all electrical lighting, wiring and sockets on G/F and 1/F.

8.6 Upgrading Works for Statutory Compliance

Block P at Kowloon Hospital was originally a government-owned building but is now occupied and managed by the Hospital Authority. As it is exempted from the Buildings Ordinance under section 41, no submission for approval or consent from the Building Authority is required for carrying out building works.

Nevertheless, all design and building works should follow the Buildings Ordinance and Building Regulations to ensure health and safety. The consultant shall prepare and certify drawings matching Buildings Department's submission standards and submit them to HA via the Authorized Person and Registered Structural Engineer.

In this project, the following measures and mitigation strategies are proposed and will be implemented:

1. Fire Safety Improvements

- i. Erection of a separate, freestanding water tank facility - including the sprinkler water tank, fire service (FS) water tank, and FS pump room - located outside the historic building (*requirements under paragraph 4.31 of the Code of Practice for Minimum Fire Services Installations and Equipment and Inspection, Testing and Maintenance of Installations and Equipment*).
- ii. Erection of a standalone external room to house the sprinkler control valve and inlet cabinet (*requirements under paragraph 4.31 of the Code of Practice for Minimum Fire Services Installations and Equipment and Inspection, Testing and Maintenance of Installations and Equipment*). (See dwg. KH-042-RIC001-D001)
- iii. Installation of a new fire service (FS) sprinkler system, fire hydrant system, and hose reel system throughout the building (*requirements under paragraph 4.31 of the Code of Practice for Minimum Fire Services Installations and Equipment and Inspection, Testing and Maintenance of Installations and Equipment*).
- iv. Installation of new fire alarm system throughout the building (*requirements under paragraph 4.31 of the Code of Practice for Minimum Fire Services Installations and Equipment and Inspection, Testing and Maintenance of Installations and Equipment*).
- v. Construction of fire-rated walls and fire-rated doors to create fire protection enclosures at the stairwell (*Requirements under Clause C9.3 of Code of Practice for Fire Safety in Buildings 2011 (2024 Edition)*). (See dwg. KH-042-RIC001-D001 & 2)
- vi. Timber staircase at the stairwell will be protected with fire retardant treatment applicable to foot traffic (*alternative approach under item (b)(ii) of paragraph 5.21 of Practice Guidebook for Adaptive Re-use of and Alteration and Addition Works to Heritage Buildings 2012 (2019 Edition) for compliance with BO*).

2. Staircase Accessibility

- i. Installation of tactile warning strips on timber staircase (*paragraph 26 of the Code of Practice for Design Manual: Barrier Free Access 2008 (2025 Edition)*).
- ii. Installation of braille information on handrails/staircase (*paragraph 26 & 30 of the Code of Practice for Design Manual: Barrier Free Access 2008 (2025 Edition)*).
- iii. Installation of new hardwood handrail at 950mm A.F.F.L. on the wall (*paragraph 25 & 28 of the Code of Practice for Design Manual: Barrier Free Access 2008 (2025 Edition)*).
- iv. Installation of additional balusters between the existing timber balustrades (*Section 37 and 38 of the Building (Construction) Regulations and Paragraph 2 under PNAP-APP110*).

9.1 Explanation

The following table outlines the assessment of the magnitude of impact and corresponding Mitigation Measures for the renovation works on Block P. Below are explanations of the terms used:

Item	Explanation
Category	The assessment is organized into categories (Historic Elements, Architectural Elements (Exterior), Architectural Elements (Interior)) for clarity and ease of understanding.
Proposed Work	Proposed alterations to significant heritage fabrics are identified, with detailed explanations of their impact on heritage value. Those works grouped into Building Services Upgrading Works, Demolition Works, Builder's Works, Restoration Works, and Upgrading Works for Statutory Compliance respectively.
Reasons for Work	Conditions or requirements necessitating the proposed works and their associated impacts are specified.
Affected CDE	Specific CDE impacted by each alteration are listed, noting that one or more significant features may be affected.
Mitigation Measures	Practical recommendations are provided to minimize adverse impacts on the heritage value of the affected elements.

9.2 Overall Adverse Impact Level After Mitigation

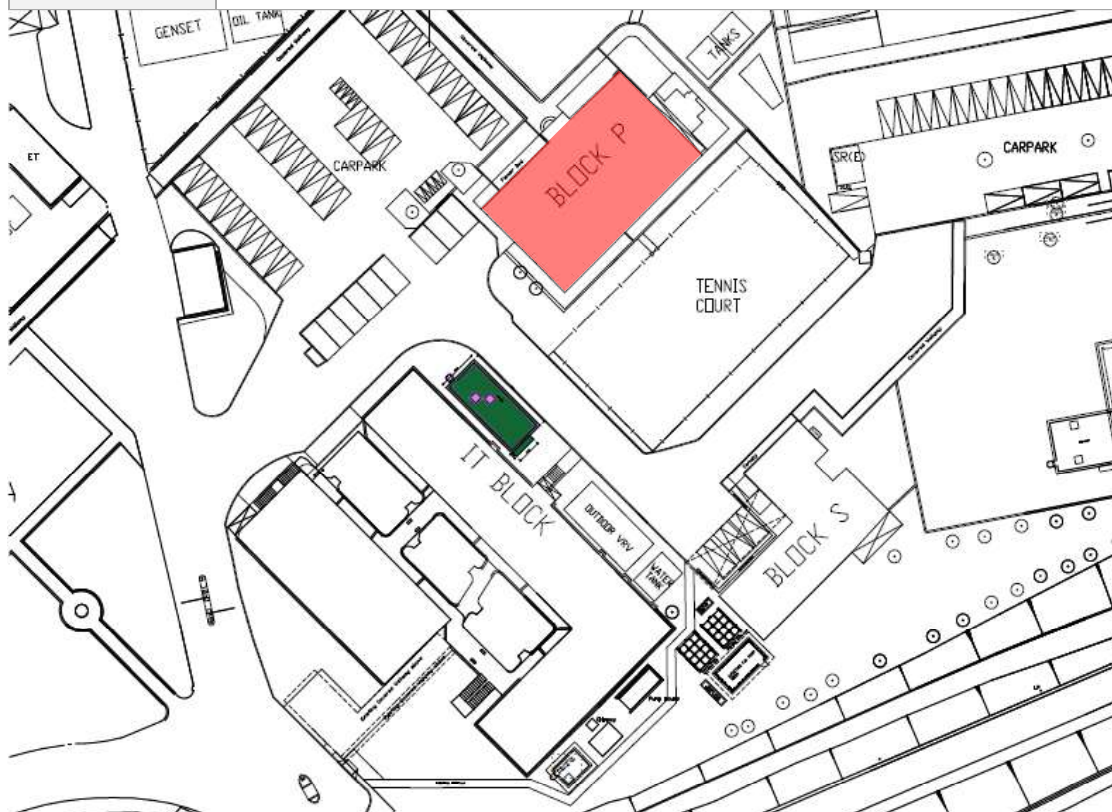
The overall grading of impact on heritage elements after applying mitigation measures is assessed as follows, in accordance with *the Guidelines for Built Heritage Impact Assessment (AMO, 2022)*:

Impact Grading	Explanation of Impact
Beneficial Impact	The impact is beneficial if the project will enhance the preservation of the heritage site(s) such as improving the flooding problem of the historic building after the sewerage project of the area;
Acceptable Impact	If the assessment indicates that there will be no significant effects on the heritage site(s);
Acceptable Impact with Mitigation Measures	If there will be some adverse effects, but these can be eliminated, reduced or offset to a large extent by specific measures, such as conduct a follow-up Conservation Proposal or Conservation Management Plan for the affected heritage site(s) before commencement of work in order to avoid any inappropriate and unnecessary interventions to the building;
Unacceptable Impact	If the adverse effects are considered to be too excessive and are unable to mitigate practically;
Undetermined Impact	If the significant adverse effects are likely, but the extent to which they may occur or may be mitigated cannot be determined from the study. Further detailed study will be required for the specific effects in question.

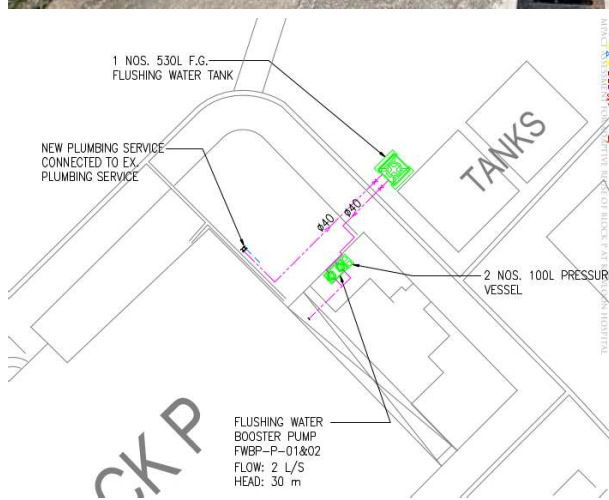
9.3 Impact Assessment and Mitigation Measures

This section details the proposed works for the renovation of Block P, along with the corresponding assessment of impact and recommended Mitigation Measures to minimize adverse effects on its heritage value.

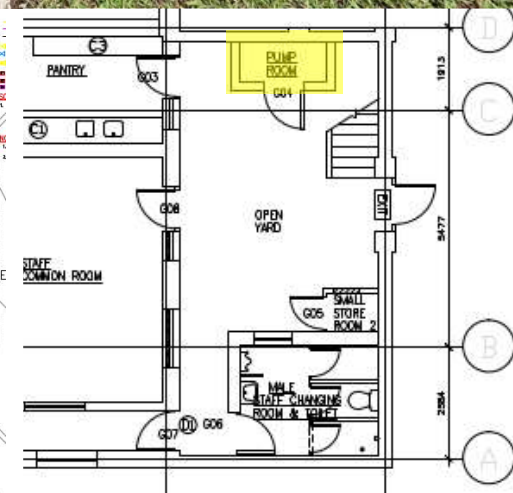
Category	Historic Elements
Proposed Work	Upgrading Works for Statutory Compliance Construction of a new Flushing Water Tank, FS Water Tank, and Pump Room outside Block P's historic boundary, including structural works (R.C. foundation, walls, roof slab), internal/external finishes, cat ladders, tank covers, and railings.
Reasons for Work	To enhance fire safety compliance for the new office use, ensuring occupant safety and providing necessary control infrastructure without altering the historic building itself.
Affected CDE	None.
Impact Grading	Not applicable. <i>The work does not affect the historic fabric or setting of Block P.</i>
Mitigation Measures	<ul style="list-style-type: none"> • New addition should be positioned away from Block P to avoid any physical or visual impact. • Their design, including materials, colour, and texture, should be compatible with the surrounding historic clusters while remaining distinguishable from the original fabric. • The new structure should have an understated character, and its overall scale and mass should harmonize with the historic buildings.



Category	Historic Elements
Proposed Work	Building Services Upgrading Works Installation of outdoor unit of A/C condensers in the lawn next to tennis court. Installation of booster pump and vessel in the new pump room.
Reasons for Work	To provide A/C to the indoor without affecting the appearance of Block P.
Affected CDE	None.
Impact Grading	Not applicable. <i>The work does not affect the historic fabric or setting of Block P.</i>
Mitigation Measures	<ul style="list-style-type: none"> Position outdoor units on the lawn discreetly to minimize visual impact on the external walls and grey gauged brick columns.



Retrieved from design drawing



Retrieved from G/F Plan

Category	Architectural Elements (Exterior)
Proposed Work	Restoration Works Repairs to defective hip rafters and battens with steel plate strengthening, removal of termite mud tubes, replacement of defective timber battens, replacement of broken/cracked pan tiles, crack repairs with lime sand mortar.
Reasons for Work	To address structural defects, termite damage, and water ingress, ensuring the roof's long-term stability and functionality.
Affected CDE	Timber Ridge-Batten-Purlin Roof Structure System (AR05, Considerable)
Impact Grading	Beneficial Impact. <i>Repairs maintain the roof's function with minimal alteration to its historic character.</i>
Mitigation Measures	<ul style="list-style-type: none"> • New timber members should match the species of the original ones and be treated with preservative. • Preserve the double-roll-double-pan tiling style, ensuring "cow's horn" curling ends and chimney stacks remain unchanged during repairs. • Use lime sand mortar and new tiles that match the original in colour, texture, and material to maintain authenticity.



Category	Architectural Elements (Exterior)
Proposed Work	Builder's Works Application of a waterproofing membrane, sealer on the existing pitch roof, which have previously been treated with waterproofing membranes multiple times.
Reasons for Work	To improve the water tightness of the pitched roof, as the tiled roof is leaking and the existing waterproofing is malfunctioning.
Affected CDE	Chinese style hip-and-gable roof (AR01, Exceptional), Double-roll double-pan roof tiling (AR02, Considerable); "Cow's horn" curling ends to the ridge and corners of the roof (AR03, Exceptional); Chimney in jointless grey gauged brick stack (AR04, Considerable)
Impact Grading	Acceptable Impact. <i>The membrane is applied on the existing waterproofing membrane that maintains the roof's appearance.</i>
Mitigation Measures	<ul style="list-style-type: none"> • Maintain the existing double-roll-double-pan tiling style and ensure no changes are made to the roof's distinctive features, such as the "cow's horn" curling ends and chimney stacks. • Ensure the membrane is applied by trained professionals with expertise in heritage conservation to prevent damage to the tiles during application.



Category	Architectural Elements (Exterior)
Proposed Work	Restoration Works Removal of vegetation and debris from gutters to improve drainage.
Reasons for Work	To prevent water damage and maintain the roof's functionality.
Affected CDE	None. Gutters are not original and not a CDE.
Impact Grading	Not applicable. <i>The membrane is applied on the existing waterproofing membrane that maintains the roof's appearance.</i>
Mitigation Measures	<ul style="list-style-type: none"> • Perform clearing carefully to avoid damaging adjacent roof tiles or ridge elements.



Category	Architectural Elements (Exterior)
Proposed Work	Restoration Works Stripping existing paint on all external walls (including verandahs and G/F yard), applying a mineral silicate-based coating system, and replacing damaged canton tiles.
Reasons for Work	To address peeling paint and disintegrating bricks, ensuring weatherproofing and maintaining the façade's aesthetic integrity.
Affected CDE	Rendered and painted external walls with grey gauged brick accents (AR07, Considerable); Arches with grey gauged brickwork column shafted at the verandah on G/F (AR09, Exceptional); Open colonnaded on the 1/F (AR10, Exceptional)
Impact Grading	Beneficial Impact. <i>Restoration maintains the façade's appearance.</i>
Mitigation Measures	<ul style="list-style-type: none"> • Retain the original cream colour and texture of the walls, ensuring the new coating does not alter the grey gauged brick accents' appearance. • New canton tiles and grey bricks should match the existing in terms of size, texture, colour, strength and appearance.



Category	Architectural Elements (Exterior)
Proposed Work	Restoration Works Stripping existing paint, de-dusting, repainting with primer and synthetic paint of metal windows. Replacement defective glasses, hinges/locks to match existing.
Reasons for Work	To restore the windows' functionality and appearance, addressing wear while maintaining their heritage value.
Affected CDE	Metal Crittall window painted dark green with red tiled and grey gauged brick window sill (AR19, Some)
Impact Grading	Beneficial Impact. <i>Restoration maintains the windows' historic character.</i>
Mitigation Measures	<ul style="list-style-type: none"> • Retain the original dark green colour of the windows during repainting, preserving their historic appearance. • Ensure new hinges and locks match the original design, avoiding structural changes to the frames. • Protect the red tiled and grey gauged brick window sill from damage during window repair. Implement protective measures, such as temporary coverings or barriers, as necessary.



Category	Architectural Elements (Exterior)
Proposed Work	Restoration Work Stripping existing paint, repainting with primer and synthetic paint, and replacing defective hinges/locks to match existing.
Reasons for Work	To restore the shutter windows' functionality and appearance, addressing wear while maintaining their heritage value.
Affected CDE	Louvered shutter windows (AR18, Some)
Impact Grading	Beneficial Impact. <i>Restoration maintains the louvered shutter windows' historic character.</i>
Mitigation Measures	<ul style="list-style-type: none"> • Strip paint using non-invasive methods to avoid damaging timber. • Apply heritage-compatible wood stain or paint matching the original finish and colour. • Repair shutters carefully to maintain their historic design and operability.



Category	Architectural Elements (Exterior)
Proposed Work	Restoration Works Replacement of damaged canton tiles on the external façade to restore its appearance.
Reasons for Work	To maintain the façade's historic aesthetic.
Affected CDE	Canton tiles and grey gauged brick windowsill and canton tiles parapet capping (AR19, Some); Red tiled topping of the parapet wall (AR16, Some)
Impact Grading	Beneficial Impact. <i>Replacement uses matching materials to preserve the façade's character.</i>
Mitigation Measures	<ul style="list-style-type: none"> • Use new canton tiles matching the existing in size, texture, colour, and strength. • Install tiles by trained professionals to ensure seamless integration with the historic façade.



Category	Architectural Elements (Exterior)
Proposed Work	Building Services Upgrading Works Replacing/reconnecting defective drainpipes with uPVC pipes and repainting existing exposed drainpipes with polyurethane paint.
Reasons for Work	To improve drainage functionality and prevent water damage to the building's exterior, addressing defective pipes.
Affected CDE	Rendered and painted external brickwork walls (AR07, Considerable)
Impact Grading	Acceptable Impact. <i>The replacement affects external utilitarian elements with minimal visual or structural impact on the heritage fabric. Repainting is a surface treatment that does not alter the structural or historic fabric.</i>
Mitigation Measures	<ul style="list-style-type: none"> • Ensure new uPVC pipes are discreetly placed to avoid visual impact on the external walls and grey brick accents. • Match the paint colour of the drainpipes to the existing colour, minimizing visual disruption to the façade.



Category	Architectural Elements (Exterior)
Proposed Work	Building Services Upgrading Works Installation of new galvanized mild steel (GMS) weatherproof louvres at fanlight level for mechanical ventilation intake and exhaust.
Reasons for Work	To integrate modern A/C systems, ensuring ventilation for office use while maintaining window functionality.
Affected CDE	Metal Crittall Window (AR19, Some)
Impact Grading	Acceptable Impact. <i>Louvres are installed on removed glass panes, avoiding structural changes to window frames.</i>
Mitigation Measures	<ul style="list-style-type: none"> • Ensure louvres are painted to match the original black or dark green window colour, minimizing visual impact. • Install louvres on the glass area to avoid permanent alteration to the window frame, preserving their historic design.



Category	Architectural Elements (Exterior)
Proposed Work	Upgrading Works for Statutory Compliance Construction of one new cabinets with block walls, concrete roof slabs, glass access doors, and internal/external finishes.
Reasons for Work	To support the new fire safety systems by providing necessary control infrastructure, ensuring compliance with safety regulations.
Affected CDE	Rendered and painted external walls painted in cream colour and grey skirting with jointless grey gauged brick accents (AR07, Considerable)
Impact Grading	Acceptable Impact. <i>The cabinets introduce new elements to the setting but do not directly alter the historic fabric.</i>
Mitigation Measures	<ul style="list-style-type: none"> • Position the cabinets in a less prominent location to reduce visual impact. • Use materials and finishes (e.g., rendering, acrylic coating) that blend seamlessly with the surrounding precinct, minimizing disruption to the heritage setting. • Avoid attaching cabinets to the grey gauged brick columns.



Category	Architectural Elements (Interior)
Proposed Work	Restoration Works Cleaning and repolishing the existing timber staircase and Railing at Circular Wall Opening.
Reasons for Work	To maintain the staircase' historic aesthetic and functionality.
Affected CDE	Grand timber staircase, including its timber steps, handrails, and balusters (AI01, Exceptional); Circular wall opening with timber rails next to the timber staircase (AI02, Considerable)
Impact Grading	Beneficial Impact. <i>Repairs preserve the historic staircase with minimal alteration.</i>
Mitigation Measures	<ul style="list-style-type: none"> Retain the original timber structure and design of the staircase, ensuring cleaning and waxing preserve its historic appearance.



Category	Architectural Elements (Interior)
Proposed Work	Restoration Works Repair of debonded plaster on internal walls with lime plaster to restore stability and aesthetics. Repainting internal walls with mineral silicate paint after stripping existing paint.
Reasons for Work	To address plaster detachment, improving structural and visual integrity. To improve aesthetics and durability with a breathable, modern finish.
Affected CDE	Painted Interior Brickwork Wall (AI07, Little)
Impact Grading	Beneficial Impact. <i>Repairs are localized and maintain the walls' historic character. Repainting is a surface treatment with minimal impact.</i>
Mitigation Measures	<ul style="list-style-type: none"> • Use breathable mineral silicate paint matching the original cream colour to preserve visual continuity. • Apply paint carefully to avoid damaging adjacent ceramic dado tiles or timber elements. • Ensure non-invasive preparation methods to protect underlying plaster.



Category	Architectural Elements (Interior)
Proposed Work	Restoration Works Preserve and repair all ceramic light green dado tiles. Install new ceramic wall tiles in toilets, pantry, and staff changing room.
Reasons for Work	To improve aesthetics, hygiene, and durability of internal walls for office use while preserving historic tiles. To ensure compatibility with the reconfigured layout.
Affected CDE	Ceramic wall tiles (A13, Some)
Impact Grading	Acceptable Impact. <i>New tiles are with minimal impact on historic character.</i>
Mitigation Measures	<ul style="list-style-type: none"> • Retain existing ceramic dado tiles to preserve their historic character. • Ensure new wall tiles colours complement the original aesthetic, maintaining visual continuity with the historic layout.



Category	Architectural Elements (Interior)
Proposed Work	Restoration Works Repair and repolish of teak floors in Function Rooms, Servers Room, Corridor, Office and Meeting Room on G/F, and Office Multi-Function Room, and Toilet, Corridor, Store, and Grand Timber Staircase on 1/F to restore their condition.
Reasons for Work	To maintain the floors' historic aesthetic and functionality.
Affected CDE	Teak floor (AI10, Considerable)
Impact Grading	Beneficial Impact. <i>Repairs preserve the historic flooring with minimal alteration.</i>
Mitigation Measures	<ul style="list-style-type: none"> • Use matching teak or compatible timber for repairs to ensure visual continuity. • Apply heritage-compatible wax to protect the floors without altering their character.



Category	Architectural Elements (Interior & Exterior)
Proposed Work	Restoration Works Repair of loose and broken floor tiles, matching existing tiles and colour, in various areas.
Reasons for Work	To restore the floors' safety and aesthetic integrity.
Affected CDE	Red and Black Floor Tiles on 1/F Verandah (AR11, Some), Red tiled flooring (AI11, Some)
Impact Grading	Beneficial Impact. <i>Repair works maintain the historic flooring's appearance.</i>
Mitigation Measures	<ul style="list-style-type: none"> • Use tiles matching the existing red or black colour, texture, and size for repairs. • Apply tiles carefully to avoid damaging adjacent historic flooring. • Document repaired areas to ensure consistency in future maintenance.



Category	Architectural Elements (Interior)
Proposed Work	Restoration Works Repair of the fireplaces, including the removal of existing paint from the mantels and tiles, followed by the application of a transparent protective coating.
Reasons for Work	To refresh the style of the fireplace and show its original appearance.
Affected CDE	Fireplace (A103, Exceptional)
Impact Grading	Beneficial impact. Repair works <i>enhances the fireplace's historic character and historic appearance. Transparent protective coating are reversible additions with minimal impact.</i>
Mitigation Measures	<ul style="list-style-type: none"> • Strip paint using non-invasive methods to avoid damaging timber. • Apply transparent protective coating to protect and preserve their historic appearance.



Category	Architectural Elements (Interior)
Proposed Work	Restoration Works Reinstatement of the ceiling at 1/F verandah, using style, materials, and finishes matching the original historic design.
Reasons for Work	To restore the verandah's historic aesthetic, aligning with the precinct's character.
Affected CDE	Timber ridge-batten-purlin roof structure system (AR05, Considerable); Timber plank ceiling under eave & at verandah (AR06, Some); Open colonnaded on the 1/F (AR10, Exceptional)
Impact Grading	Beneficial impact. <i>Reinstatement enhances the verandah's historic character and Block P's historic appearance.</i>
Mitigation Measures	<ul style="list-style-type: none"> • Using the timber plank ceiling style, materials, and finishes that match the original historic ceiling design. • Apply restoration techniques by trained professionals to preserve the verandah's structural integrity. • Document the restored ceiling to maintain heritage records.

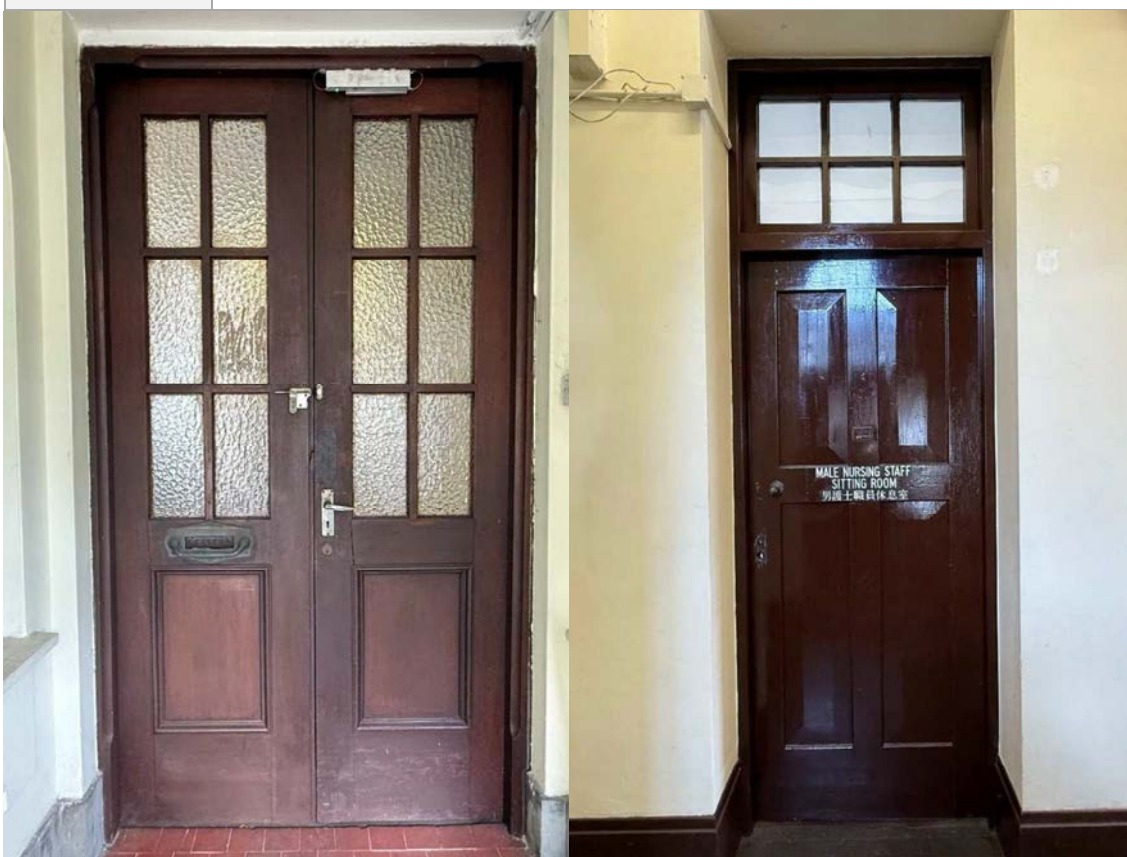


Existing condition.



Original design (Taken in 2013).

Category	Architectural Elements (Interior)
Proposed Work	Restoration Works Repair of preserved timber doors and frames with repainting and new locks, historic ironmongeries to be retained.
Reasons for Work	To maintain the doors' functionality and historic appearance.
Affected CDE	Timber doors (A114, Considerable)
Impact Grading	Beneficial Impact. <i>Preserves the doors with minimal alteration.</i>
Mitigation Measures	<ul style="list-style-type: none"> • Strip paint using non-invasive methods to avoid damaging timber. • Apply heritage-compatible wood stain or paint matching the original finish (e.g., varnish). • Use new locks matching the original design to maintain historic character.



Category	Architectural Elements (Interior)
Proposed Work	Restoration Works Repair cracks on concrete slab by Injection of low-viscosity epoxy, including drilling holes, plug fixing, and curing.
Reasons for Work	To stabilize structural cracks and prevent further deterioration, ensuring the building's integrity.
Affected CDE	None
Impact Grading	Not applicable. <i>Concrete soffit should not be considered as a CDE.</i>
Mitigation Measures	<ul style="list-style-type: none"> • Use epoxy that matches the finishes colour to minimize visual impact. • Avoid over-injection to preserve the original fabric, focusing only on structurally necessary repairs.

No reference photo.

Category	Architectural Elements (Interior)
Proposed Work	Builders' Works Installation of transparent panels between fireplaces and office desks to provide safety separation.
Reasons for Work	To enhance safety by isolating potential damage caused by the work desk.
Affected CDE	Fireplace (AI03, Exceptional)
Impact Grading	Acceptable Impact with Mitigation Measures. <i>Panels are reversible additions with minimal impact on historic fabric.</i>
Mitigation Measures	<ul style="list-style-type: none"> • Use transparent panels to minimize visual obstruction of historic room layouts. • Install panels with reversible fixings to avoid damaging plaster walls or fireplaces. • Position panels to preserve the spatial integrity of rooms with fireplaces.

No reference photo.

Category	Architectural Elements (Interior)
Proposed Work	Builder's Works Installation of anti-slip homogeneous floor tiles in Small Storeroom, Staff Changing Rooms and Toilet on G/F, and Toilets on 1/F. Installation of carpet tiles in office areas to enhance comfort and aesthetics.
Reasons for Work	To improve safety, hygiene, and aesthetics for office use, addressing defective flooring and provide a modern, comfortable flooring solution suitable for office environments.
Affected CDE	Teak floor (AI10, Considerable) & Red tiled flooring (AI11, Some)
Impact Grading	Acceptable Impact with Mitigation Measures. <i>Carpet tiles and homogeneous floor tiles are removable and do not damage the underlying timber flooring.</i>
Mitigation Measures	<ul style="list-style-type: none"> • Preserve existing timber strips. • Introduce a removable underlay or adhesive to ensure carpet tiles and homogeneous floor tile can be removed without damaging the original floor materials

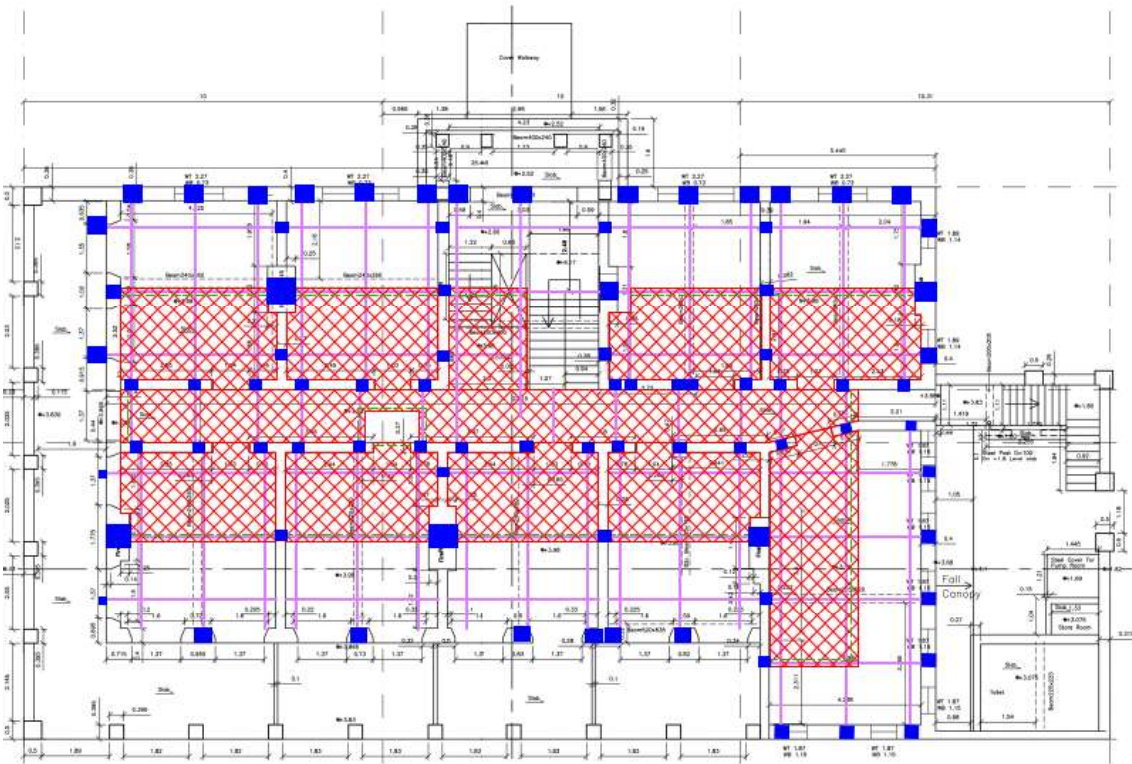


Category	Architectural Elements (Interior)
Proposed Work	Builder's Works Installation of a mineral fibre ceiling system in staff common room and pantry on G/F, and the corridor, offices and multi-function room on 1/F, as well as aluminium ceiling panels in staff changing rooms and toilet on G/F and toilets on 1/F to improve hygiene and conceal services.
Reasons for Work	To enhance acoustics, safety, and energy efficiency by concealing modern E&M services and meet modern hygiene standards and conceal plumbing/electrical services in toilets.
Affected CDE	Timber picture rail (AI06, Some); Coved ceiling (AI05, Some)
Impact Grading	Acceptable impact with mitigation measures. <i>Ceilings are reversible.</i>
Mitigation Measures	<ul style="list-style-type: none"> • Ensure false ceilings are reversible to avoid damage to the original ceiling structure. • Avoid covering timber picture rails and damage coved ceilings where present or document them before installation.









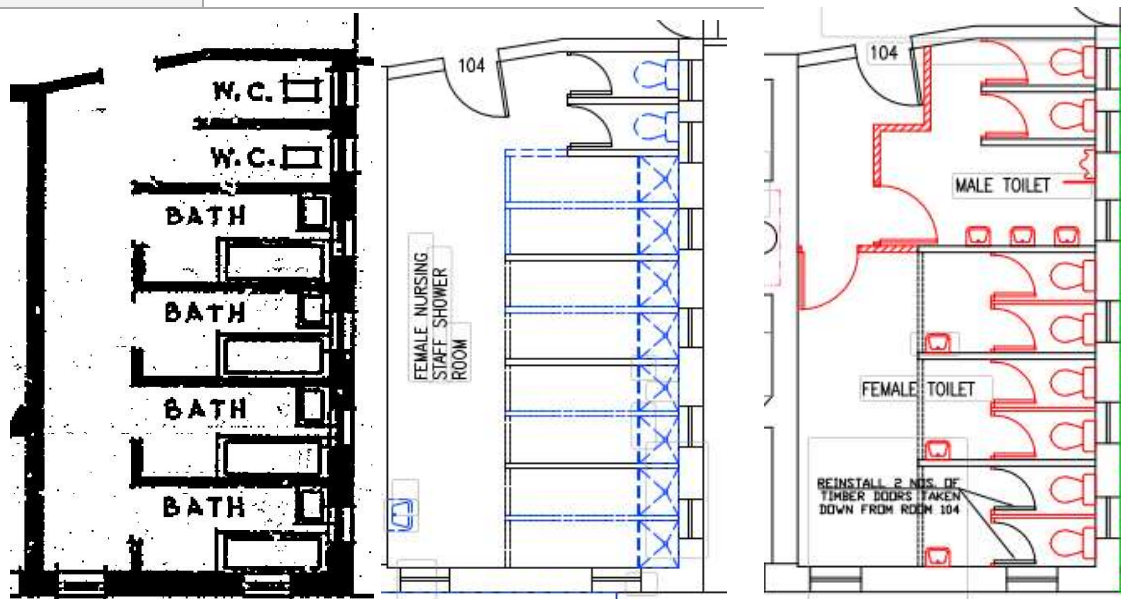
Category	Architectural Elements (Interior)
Proposed Work	Builder's Works Installation of a new GMS supporting steel frame and inspection walkway in the roof void (above 1/F ceiling level) for E&M services maintenance.
Reasons for Work	To provide safe access for maintaining modern E&M services, supporting office functionality.
Affected CDE	Rendered and painted external brickwork walls painted in cream colour and grey skirting with jointless grey gauged brick accent (AR07, Considerable)
Impact Grading	Acceptable Impact with Mitigation Measures. <i>The walkway is a reversible addition with minimal impact on the roof structure.</i>
Mitigation Measures	<ul style="list-style-type: none"> • Use lightweight materials to avoid severe damage to the brickwork walls. • Position the walkway to avoid interference with brickwork walls or chimney. • Engage a Registered Structural Engineer to review any potential impact on the brick walls.



Legends:

-  Affected CDE due to this proposed works
-  New G.M.S Structural Steel Frame
-  New G.M.S Inspection Walkway
-  New G.M.S Railing (1100mmH) W/TOE-BOARD

Category	Architectural Elements (Interior)
Proposed Work	Demolition Works & Builder's Works Removal of a small portion of wall partitions, steel posts and cubicle doors at 1/F toilets. Construction of new 100 mm thick lightweight block walls to form 1/F toilets, enhancing privacy and functionality.
Reasons for Work	To reconfigure the internal layout to ensure compliance with building code requirements for toilet facilities, including proper sexual segregation (male/female separation).
Affected CDE	Timber Toilet Cubicle Doors (AI16, Exceptional)
Impact Grading	Acceptable impact with mitigation measures. <i>The removal of steel posts and a small portion of partition wall will alter the historic spatial configuration of the bathroom area. While the addition of new walls will result in slight changes to the layout, the majority of the original walls will be retained.</i>
Mitigation Measures	<ul style="list-style-type: none"> • A photographic survey shall be conducted to document all existing historic fabrics prior to their removal. • Position new walls to avoid obstructing or compromising the original spatial integrity of the toilet. • Repair and reuse two existing timber toilet cubicle doors in the renovated toilet to retain historic elements.



P.W.D. Record Plan in 1965.

Existing layout with items to be demolished.

Proposed layout.

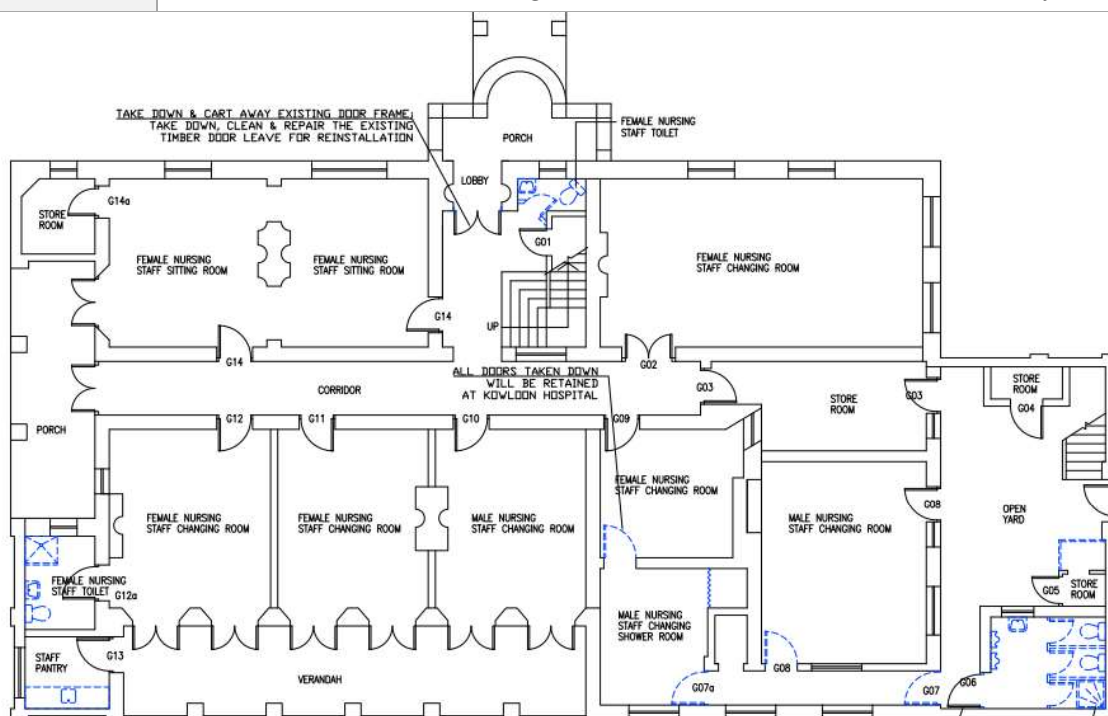


The metall posts and toe walls proposed for demolition are later additions and are considered to have no heritage significance.

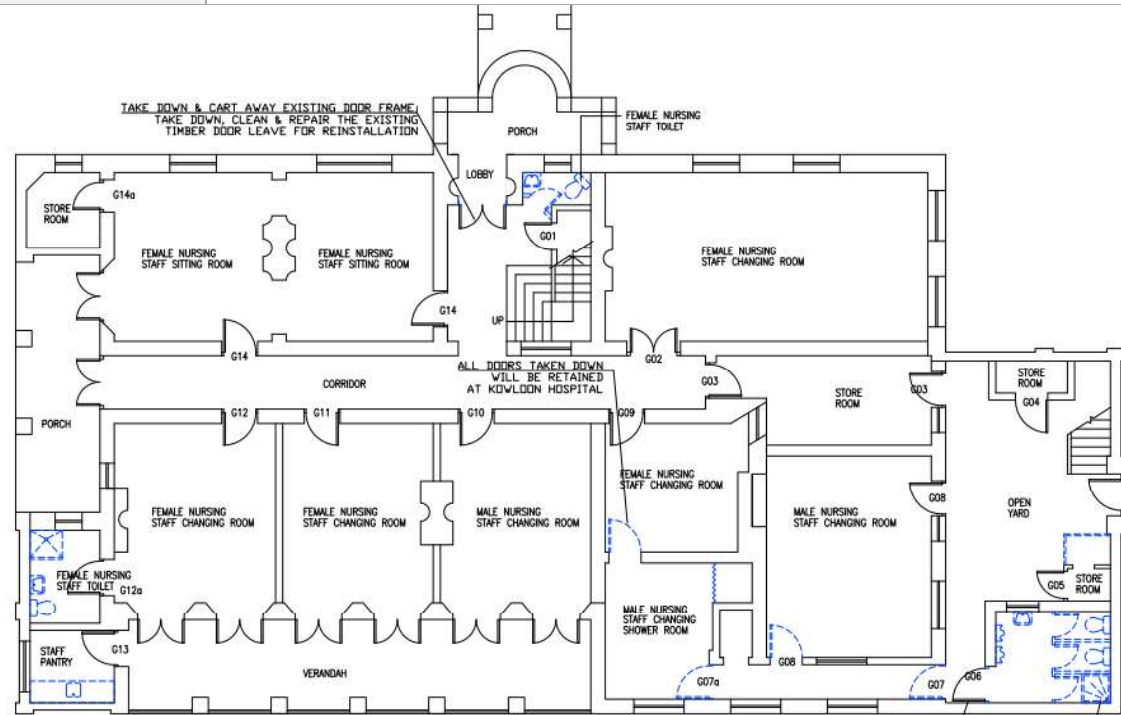


Repair the two original cubicle doors and reuse them in the renovated toilet.

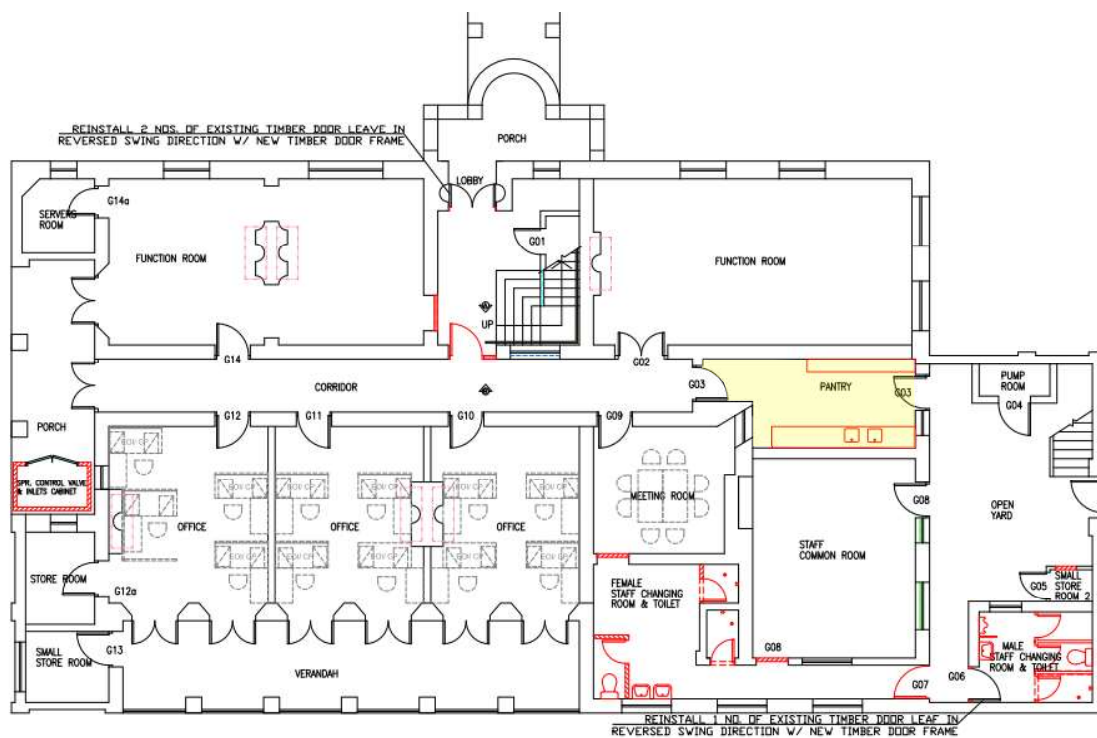
Category	Architectural Elements (Interior)
Proposed Work	Demolition Works & Builder's Works Removal of existing timber doors and door frames. Installation of new timber doors to replace removed doors, supporting the reconfigured office layout.
Reasons for Work	To reconfigure the internal layout for office use, and provide functional, modern doors that meet office accessibility and safety standards.
Affected CDE	Timber doors. (A114, Considerable)
Impact Grading	Acceptable Impact with Mitigation Measures. <i>Removal of original timber doors significantly alters the historic internal layout. New doors replace historic ones, altering the layout's historic character.</i>
Mitigation Measures	<ul style="list-style-type: none"> • A photographic survey shall be conducted to document all existing historic fabrics prior to their removal. • Preserve any heritage-significant timber doors identified by the conservation consultant, relocating them to a secure repository for potential reuse. • Design new doors to mimic the style, colour, and material (e.g., varnished timber) of original doors to maintain visual continuity.



Category	Architectural Elements (Interior)
Proposed Work	Demolition Works & Builder's Works Removal of all existing sanitary fitments, plumbing pipes, and conduits. Installation of new sanitary fitments (wash basins, water closets, showers, urinals, sinks, mirrors) in toilets, with associated plumbing connections.
Reasons for Work	To install modern sanitary fitments and plumbing systems that meet current standards for office use.
Affected CDE	None
Impact Grading	Not applicable. <i>The fitments, pipes and conduits do not contribute to heritage value.</i>
Mitigation Measures	<ul style="list-style-type: none"> • Ensure new fitments are installed in a way that avoids structural changes to the original layout. • Use non-invasive methods to remove old plumbing, minimizing impact on surrounding heritage fabric.



Category	Architectural Elements (Interior)
Proposed Work	Demolition Works & Builder's Works Removal of existing sink cabinets and timber shelves in the existing staff pantry. Installation of new sink cabinets with stainless steel sinks, solid surfacing countertops, and plastic laminate finishes on new pantry.
Reasons for Work	To accommodate new office layouts and install modern furniture, removing outdated fixtures.
Affected CDE	None
Impact Grading	Not applicable. <i>Shelves are likely modern or non-significant.</i>
Mitigation Measures	<ul style="list-style-type: none"> • Disturbance to the adjoining historic fabrics shall be minimized. • Ensure new cabinets are freestanding and reversible, avoiding structural changes to the functional rooms' layout.



Category	Architectural Elements (Interior)
Proposed Work	Building Services Upgrading Works Installation of new air conditioning systems.
Reasons for Work	To meet modern office standards for thermal comfort, ensuring a functional working environment compliant with current regulations.
Affected CDE	Rendered and painted external brickworks walls (AR07, Considerable); Painted interior brickwork wall (AI07, Little); Metal Crittall Window (AR19, Some); Timber Door (AI14, Considerable)
Impact Grading	Acceptable Impact with Mitigation Measures. <i>The air-conditioning ducts are installed entirely above the false ceiling and cross the rooms at fanlight level, resulting in minimal impact on the historic fabric.</i>
Mitigation Measures	<ul style="list-style-type: none"> • All air-conditioning ducts are concealed above the false ceiling. • Where the ducts cross the rooms, they are routed at fanlight level above the doors. Only the glass panes are removed to accommodate the ducts. • Wall openings will be avoided for duct routing.

Category	Architectural Elements (Interior)
Proposed Work	Building Services Upgrading Works Dismantle all existing electrical installations and replace the light fittings, conduits, and socket outlets on the G/F and 1/F.
Reasons for Work	To provide power and lighting to support daily office operation.
Affected CDE	Painted Interior Brickwork Wall (AI07, Little)
Impact Grading	Acceptable Impact with Mitigation Measures. <i>The conduits and light fittings are installed entirely above the false ceiling and surface-mounted on the ceilings and walls, resulting in minimal impact on the historic fabric.</i>
Mitigation Measures	<ul style="list-style-type: none"> • All conduits are exposed and surface-mounted on the walls. No wall chasing or concealed conduits within the walls are allowed. • All light fittings shall be mounted on the false ceiling or the original ceiling at G/F using small screws.

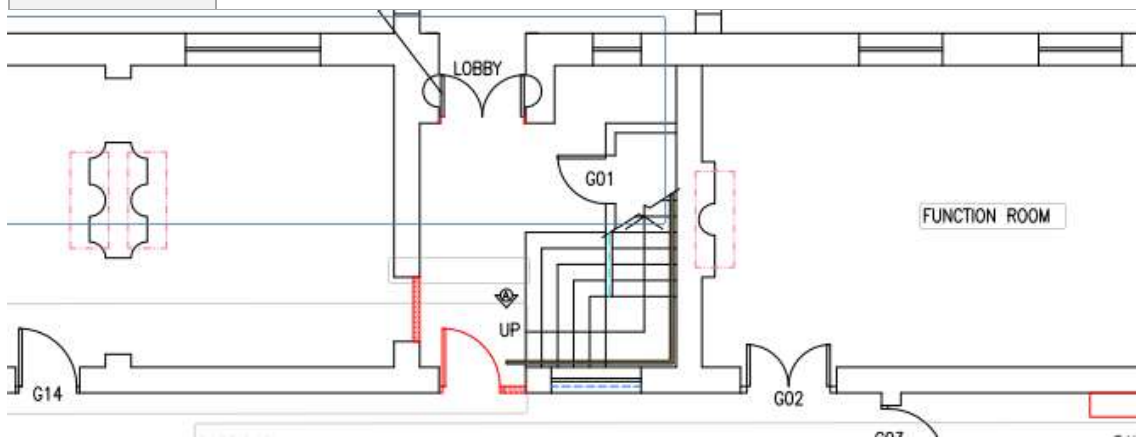
Category	Architectural Elements (Interior)
Proposed Work	Upgrading Works for Statutory Compliance Installation of a new hardwood handrail on the wall, new transparent panels behind existing timber balusters, new tactile warning strips, new braille information and replacement of existing aluminium nosing.
Reasons for Work	To enhance safety, improve accessibility, comply with the current statutory requirements and restore the staircase's appearance for office use.
Affected CDE	Grand timber staircase, including its timber steps, handrails, and balusters (AI01, Exceptional); Circular wall opening with timber rails next to the timber staircase (AI02, Considerable)
Impact Grading	Acceptable Impact with Mitigation Measures. <i>These upgrades introduce reversible additions to the timber staircase with minimal impact on its core structure and historic character and do not alter the staircase's fundamental design.</i>
Mitigation Measures	<ul style="list-style-type: none"> • The new transparent panel and nosing should be carefully designed to clearly distinguish them as modern additions while minimising their visual impact on the original design. • Design accessibility upgrades (e.g. tactile, warning strips, handrail) to be minimally invasive, avoiding structural changes to the staircase. • Monitor the installation process to ensure all additions remain reversible, allowing future restoration of the staircase to its original state if needed.



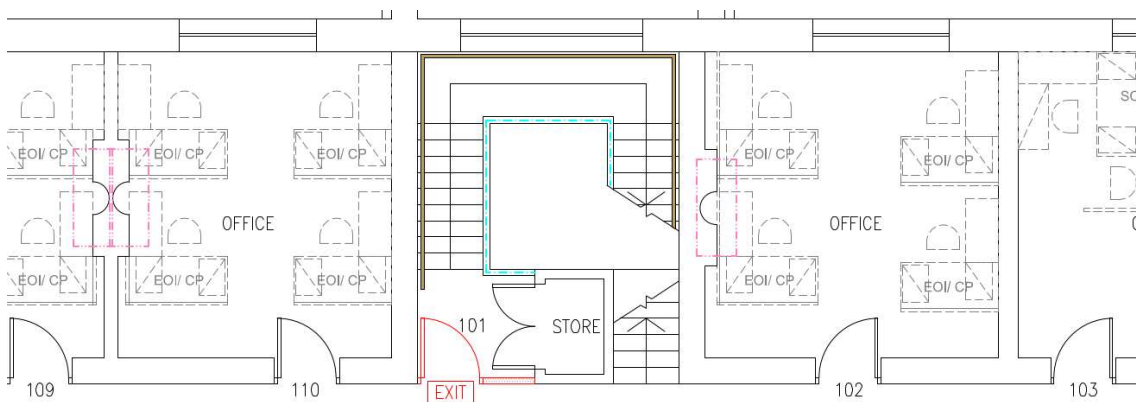
Category	Architectural Elements (Interior)
Proposed Work	Upgrading Works for Statutory Compliance Apply fire retardant paint the on surface of the entire staircase.
Reasons for Work	To enhance fire safety to comply with the current statutory requirements.
Affected CDE	Grand timber staircase, including its timber steps, handrails, and balusters (AI01, Exceptional); Circular wall opening with timber rails next to the timber staircase (AI02, Considerable)
Impact Grading	Acceptable Impact with Mitigation Measures. <i>These upgrades introduce reversible additions to the timber staircase with minimal impact on its core structure and historic character but are still reversible and do not alter the staircase's fundamental design.</i>
Mitigation Measures	<ul style="list-style-type: none"> Retain the original timber structure and design of the staircase, ensuring preserve its historic appearance after paint application.



Category	Architectural Elements (Interior)
Proposed Work	Upgrading Works for Statutory Compliance Construction of a fire-rated wall and door to create a fire protection enclosure at the stairwell.
Reasons for Work	To enhance fire safety, ensuring safe evacuation and compliance with regulations.
Affected CDE	Grand timber staircase, including its timber steps, handrails, and balusters (AI01, Exceptional); Circular wall opening with timber rails next to the timber staircase (AI02, Considerable)
Impact Grading	Acceptable Impact with Mitigation Measures. <i>The enclosure is a reversible addition that does not alter the staircase's core structure.</i>
Mitigation Measures	<ul style="list-style-type: none"> • Use reversible materials and fixings for the wall and door to allow removal without damaging the staircase. • Design the door to mimic the style of historic timber doors (e.g., varnished finish) for visual continuity. • Ensure the enclosure does not obstruct the staircase's spatial or aesthetic integrity.



Ground Floor Plan



First Floor Plan

Category	Architectural Elements (Interior)
Proposed Work	Upgrading Works for Statutory Compliance Reverse the swing of the main entrance door to open outward.
Reasons for Work	Achieve the required functional changes (e.g., outward swing for fire escape compliance) while preserving the more significant heritage element, in accordance with conservation principles.
Affected CDE	Timber door (A114, Considerable)
Impact Grading	Acceptable Impact with mitigation measures. <i>Modify the door frame (which has lower heritage significance) while retaining the original door panel (which has higher heritage significance).</i>
Mitigation Measures	<ul style="list-style-type: none"> • Modify the door frame using a minimal intervention approach to allow the original door panel to swing outward. • Conserve all CDEs on the existing door including ironmongeries glass panels and letter box.



Category	Architectural Elements (Interior)
Proposed Work	Upgrading Works for Statutory Compliance Installation of sprinklers at new false ceilings to provide fire suppression for office spaces.
Reasons for Work	To enhance fire safety compliance, protecting occupants and the building in case of fire.
Affected CDE	Rendered and painted external brickworks walls painted in cream colour and grey skirting with jointless grey gauged brick accents (AR07, Considerable); Painted interior brickwork wall (AI07, Little)
Impact Grading	Acceptable Impact with Mitigation Measures. <i>The pipes are installed entirely above the false ceiling and cross the rooms at fanlight level, resulting in minimal impact on the historic fabric.</i>
Mitigation Measures	<ul style="list-style-type: none"> • All sprinkler pipes are concealed above the false ceiling. • Avoid attaching sprinklers to the grey gauged brick columns.

Category	Architectural Elements (Interior)
Proposed Work	Upgrading Works for Statutory Compliance Installation of hose reels to enhance fire safety measures within Block P.
Reasons for Work	To provide accessible fire-fighting equipment, ensuring compliance with safety regulations for office use.
Affected CDE	Painted internal walls (AI07, Little)
Impact Grading	Acceptable Impact with Mitigation Measures. <i>The hose reels are modest, functional installations with only minimal impact on the historic building fabric.</i>
Mitigation Measures	<ul style="list-style-type: none"> • The hose reels system will be placed in non-prominent locations, such as the server room, to preserve the aesthetic of historic interiors.

Book

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Hong Kong Public Library. "Old Hong Kong Pictures: Argyle Street, looking north-north-east from above junction with Waterloo Road; Kowloon Hospital in centre, La Salle (with white dome) centre background, Eu Mansions right foreground." 1930.

Aerial Photo

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Survey and Mapping Office. 1961. Ref. no.: 0087 (F43/81A/RAF600)

Survey and Mapping Office. 1969. Ref. no.: 1787

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Hal Empson. "Mapping Hong Kong." Hong Kong: Government Information Services, 1992: pp.184-185

Survey and Mapping Office. 1963. Ref. no.: 179-NE-11

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Rev.	Date	Description
1.		For not scale drawings. Dimensions shown.
2.		Verify dimensions in field. Notify Fujitac of discrepancies.
3.		For construction purposes only. Not for construction unless separately certified.
4.		Not for construction unless separately certified.



Client
KOWLOON HOSPITAL

Consultants

Issue

BD Ref:
 FSD Ref:

Authorised Person

Project
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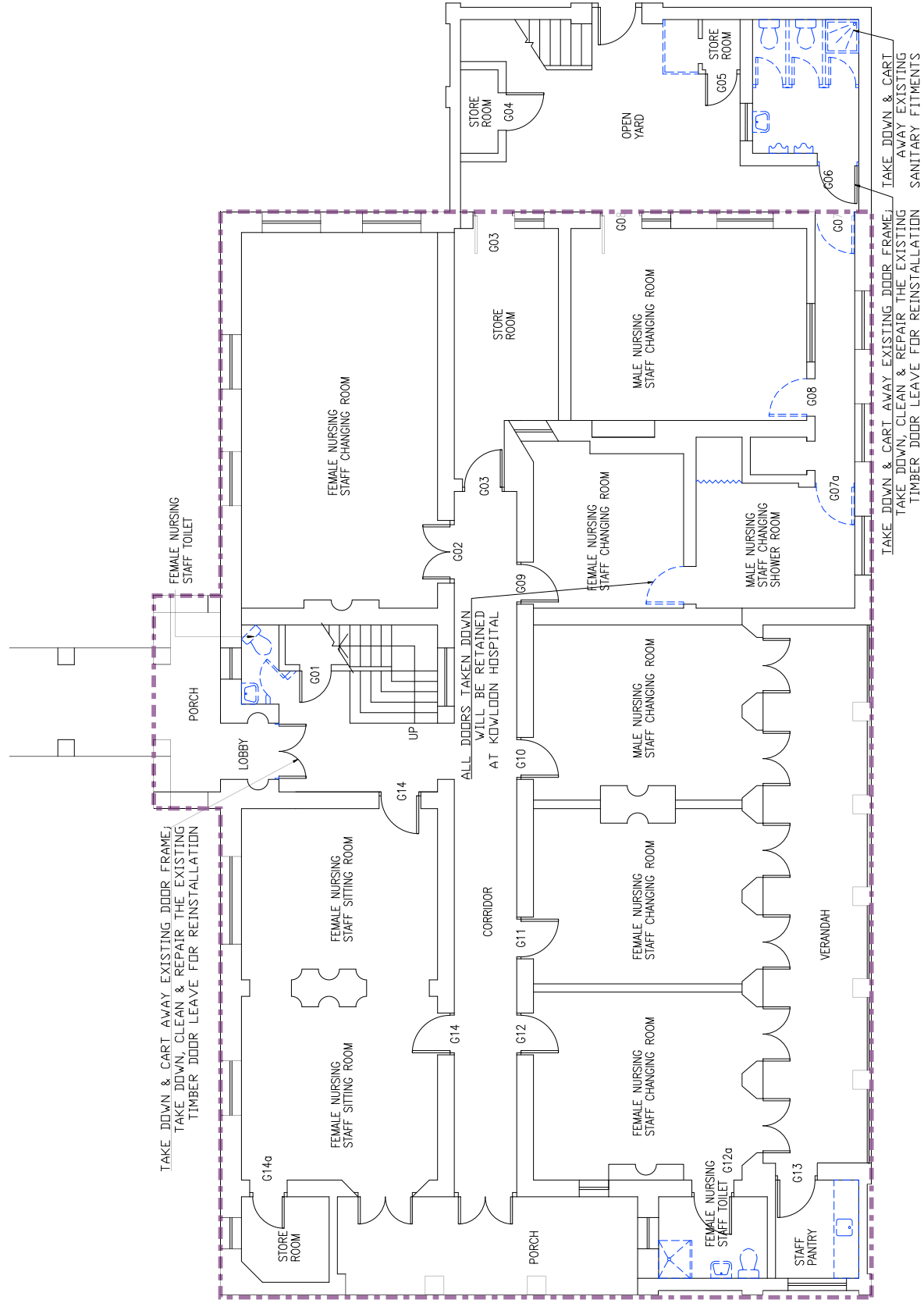
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RIC 001
 Date
20260305

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 Drawn/Approved/Revised
SJ/KN/JK

Title
EXISTING PLAN - G/F

Number	Revision
KH-042-RIC001-DP001	E

- LEGENDS:
- - - - - ITEMS TO BE DEMOLISHED
 - - - - - GRADING BOUNDARY



EXISTING PLAN - G/F SCALE 1:100

Rev.	Date	Description
1.		1. For not scale drawings. Dimensions govern.
2.		2. Verify dimensions in field. Notify Fujitac of discrepancies.
3.		3. Verify dimensions in field. Notify Fujitac of discrepancies.
4.		4. Not for construction unless separately certified.

Key Plan



Client
KOWLOON HOSPITAL

Consultants

Issue

BD Ref:
 FSD Ref:

Authorized Person

Project
 RECONSTRUCTION OF BLOCK P OF KOWLOON HOSPITAL

Sheet Number
RIC 001

Date
20260305

Scale
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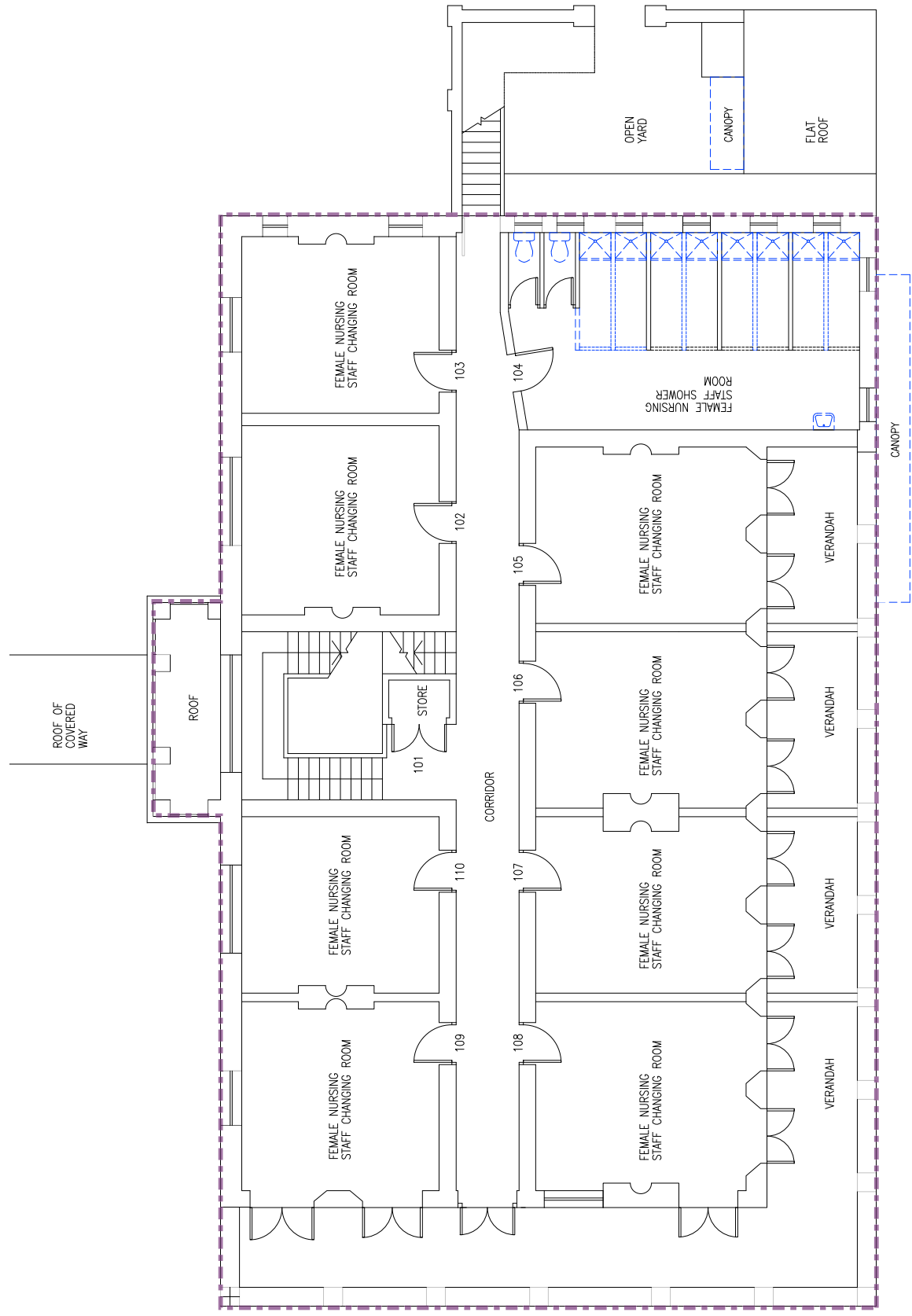
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SL/KN/JK

Title
EXISTING PLAN - 1/F

Number
KH-042-RIC001-DP002

Revision
E

LEGENDS:
 - - - - - ITEMS TO BE DEMOLISHED
 - - - - - GRADING BOUNDARY













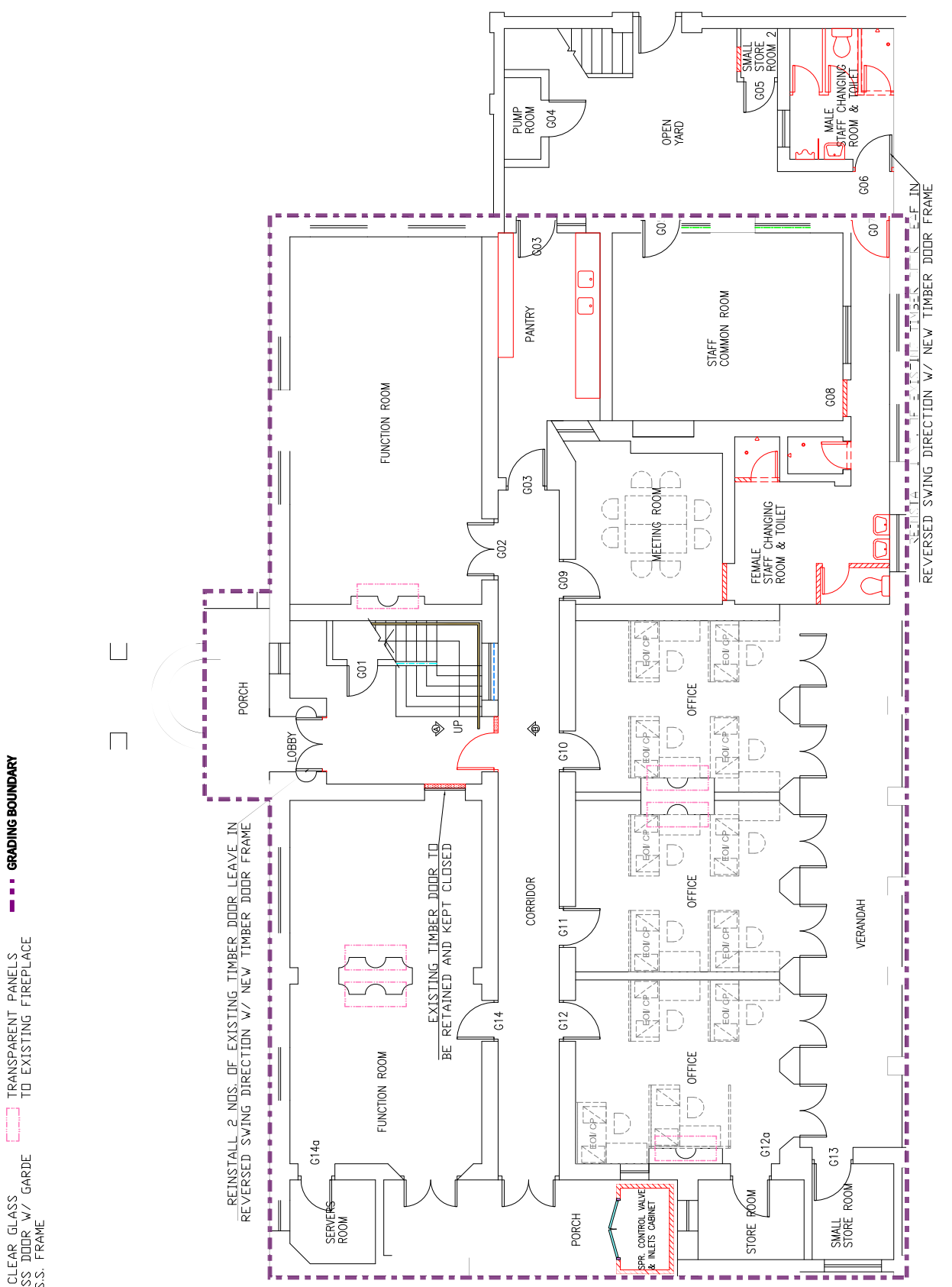
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Rev.	Date	Description
1		1. Do not scale drawings. Dimensions govern. 2. Dimensions in mm unless otherwise noted. 3. Dimensions in m unless otherwise noted. 4. Not for construction unless expressly certified.
Key Plan		

Client	KOWLOON HOSPITAL
Consultants	
Issue	
ISS Ref:	FSD Ref:

Authorised Person	
Project Name	RENOVATION OF BLOCK F OF KOWLOON HOSPITAL
Project Number	20260305
Scale	1:100
Drawn/Approved/Entered	SL/KN/JK
Title	PROPOSED PLAN - G/F
Number	KH-042-RIC001-D001
Revision	H

- LEGENDS:**
-  NEW WORKS
 -  NEW 100mm THK. CONCRETE BLOCK WALL (LIGHTWEIGHT)
 -  NEW PROPRIETARY FIRE PROTECTION WALL PARTITION SYSTEM w/ -/60/60 F.R.R.
 -  NEW PROPRIETARY FIRE PROTECTION BOARD w/ -/60/60 F.R.R.
 -  NEW G.M.S. ROD & SKIRTING ON EXISTING TIMBER RAILING
 -  NEW PROPRIETARY CLEAR POLYESTER WINDOW FILM
 -  NEW TIMBER HANDRAIL
 -  NEW CLEAR GLASS ACCESS DOOR w/ GARDE 316 S.S. FRAME
 -  TRANSPARENT PANELS TO EXISTING FIREPLACE
 -  GRADING BOUNDARY



PROPOSED PLAN - G/F SCALE 1:100

Rev.	Date	Description
1.		For not scale drawings. Dimensions govern.
2.		Verify dimensions in field. Notify Fujitac of discrepancies.
3.		Verify dimensions in field. Notify Fujitac of discrepancies.
4.		Not for construction unless expressly certified.

Key Plan



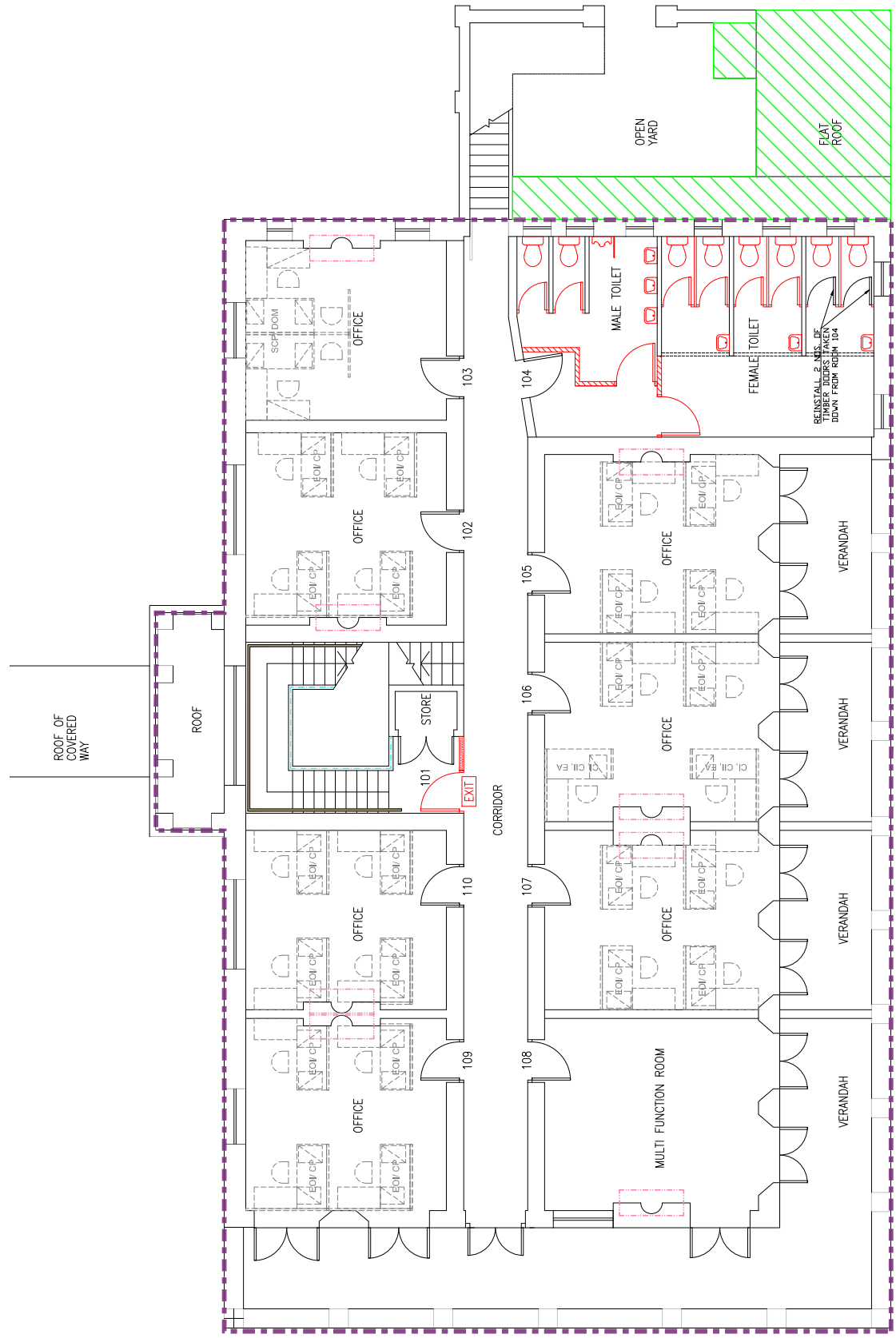
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Consultants	
Name	
BD Ref.	FSO Ref.

Project	RENOVATION OF BLOCK P OF KOWLOON HOSPITAL
Authorised Person	
Sheet Number	20260305
Revision	1
Scale	1:100
Drawn/Approved/Entered	SL/KN/JK
Title	PROPOSED PLAN - 1/F
Number	KH-042-RIC001-D002

- LEGENDS:**
-  NEW WORKS
 -  NEW 100mm THK. CONCRETE BLOCK WALL (LIGHTWEIGHT)
 -  NEW PROPRIETARY FIRE PROTECTION WALL PARTITION SYSTEM w/ -/60/60 F.R.R.
 -  NEW G.M.S. ROD & SKIRTING ON EXISTING TIMBER RAILING
 -  NEW PROPRIETARY WATERPROOFING SYSTEM (TYPE B2) ON EXISTING ROOF
 -  NEW TIMBER HANDRAIL

 GRADING BOUNDARY

 TRANSPARENT PANELS TO EXISTING FIREPLACE



PROPOSED PLAN - 1/F SCALE 1:100

Rev.	Date	Description
1.		1. For not scale drawings. Dimensions govern.
2.		2. Verify dimensions in field. Notify Fujitac of discrepancies.
3.		3. Verify dimensions in field. Notify Fujitac of discrepancies.
4.		4. Not for construction unless separately certified.



Client
KOWLOON HOSPITAL

Consultants

Issue

BD Ref:
 FSD Ref:

Authorized Person

Project
 RECONSTRUCTION OF BLOCK P OF KOWLOON HOSPITAL

Issue Number
RIC 001

Date
20260305

Scale
1:100

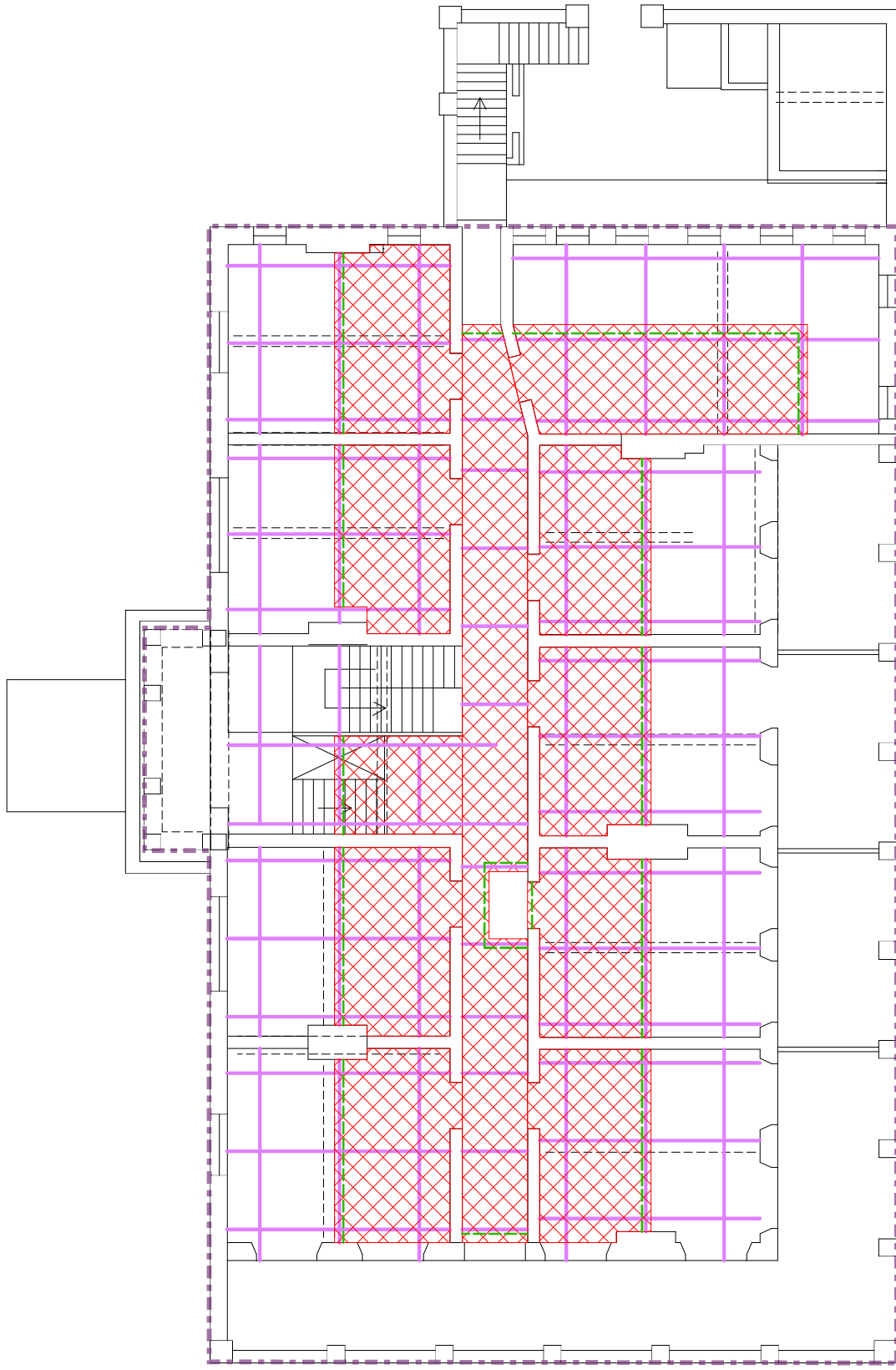
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SL/KN/JK

Title
PROPOSED PLAN - UPPER 1/F

Number
KH-042-RIC001-D003

Revision
C

- LEGENDS:
- NEW G.M.S. STRUCTURAL STEEL FRAME
 - NEW G.M.S. INSPECTION WALKWAY
 - NEW G.M.S. RAILING (1100mmH) w/ TOE-BOARD
 - GRADING BOUNDARY



PROPOSED PLAN - UPPER 1/F SCALE 1:100

Rev.	Date	Description
1.		1. On not scale drawings. Dimensions govern.
2.		2. Verify dimensions in field. Notify Fujitac of discrepancies.
3.		3. Verify dimensions in field. Notify Fujitac of discrepancies.
4.		4. Not for construction unless expressly certified.

Key Plan

Client
KOWLOON HOSPITAL

Consultants

Issue

BD Ref:
FSD Ref:

Authorized Person

Project
RECONSTRUCTION OF BLOCK P OF KOWLOON
HOSPITAL

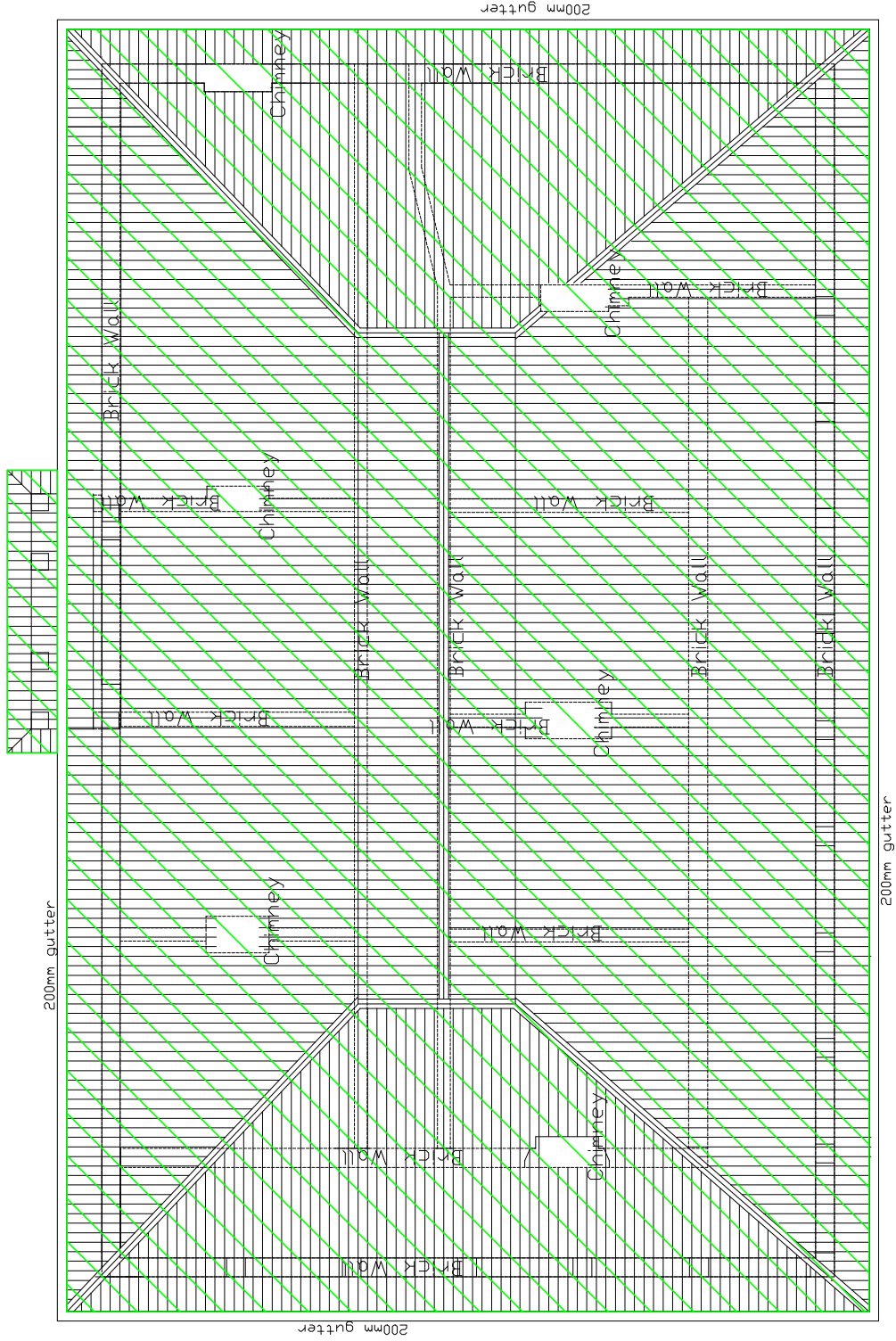
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Scale	Drawn/Approved/Released
1:100	SL/KN/JK

Title
PROPOSED PLAN - R/F

Number	Revision
KH-042-RIC001-D004	A

LEGENDS:

- NEW PROPRIETARY WATERPROOFING SYSTEM (TYPE B2) ON EXISTING ROOF



PROPOSED PLAN - R/F SCALE 1:100

Rev.	Date	Description
1		1. Do not scale drawings. Dimensions govern. 2. Dimensions in mm unless otherwise stated. 3. Dimensions in mm unless otherwise stated. 4. Not for construction unless expressly certified.

Client
KOWLOON HOSPITAL

Contract

Notes

Rev. Ref.	FSO Ref.

Authorised Person

Project	Location
RENOVATION OF BLOCK P OF KOWLOON HOSPITAL	

Project Number	Date
RIC 001	20260305

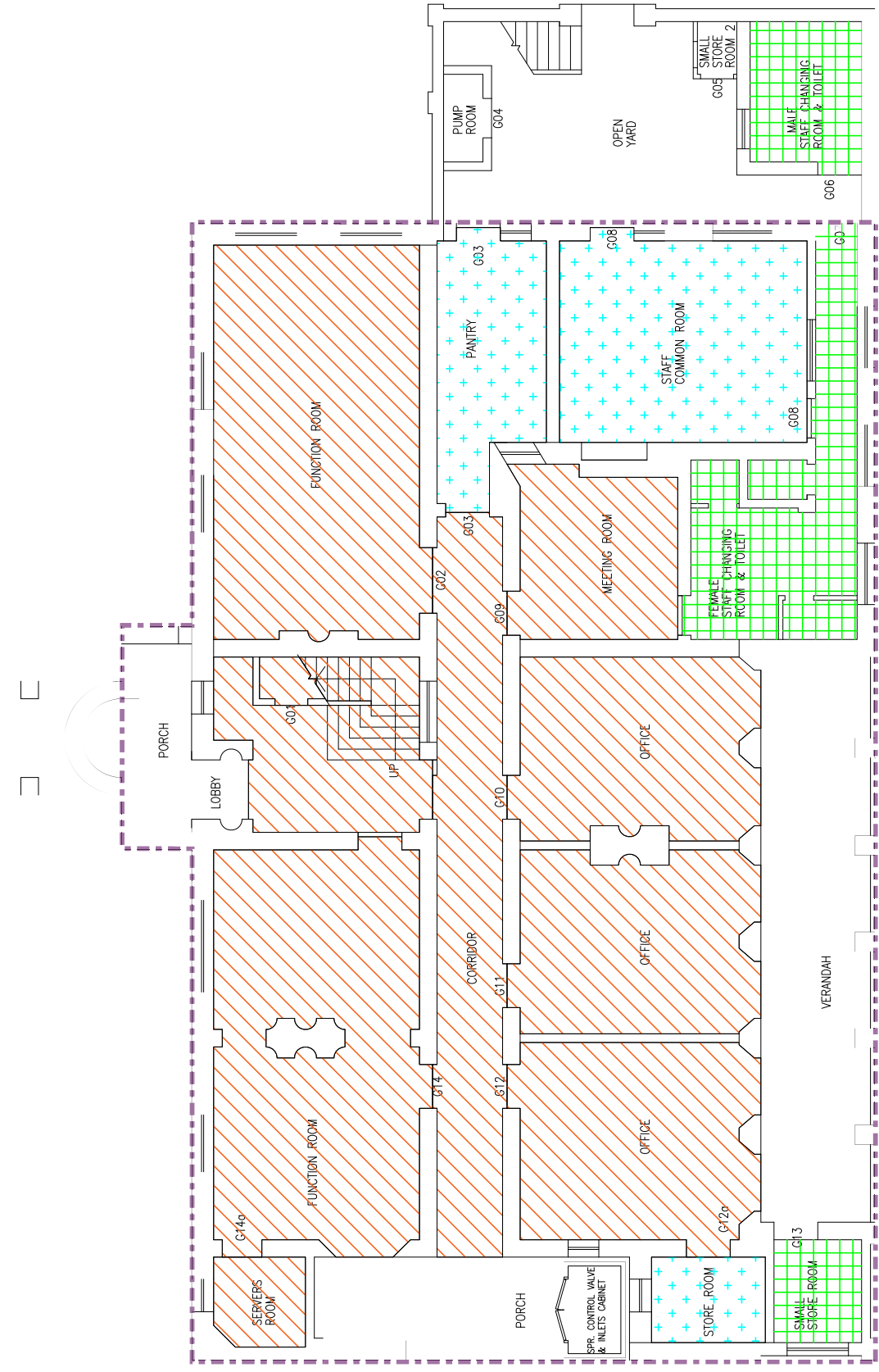
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Title
FLOOR FINISHES PLAN - G/F

Number	Revision
KH-042-RIC001-F001	E

- LEGENDS:**
-  REPAIR TO EXISTING TIMBER STRIP & APPLICATION OF FLOOR WAX
 -  NEW ANTI-SLIP HOMOGENEOUS FLOOR TILES (R12)
 -  PATCH REPAIR TO EXISTING FLOOR TILES TO MATCH EXISTING APPEARANCE

 GRADING BOUNDARY



FLOOR FINISHES PLAN - G/F SCALE 1:100

Rev.	Date	Description
1		Issue for construction
2		Diagrams in mm unless otherwise stated.
3		Diagrams in mm unless otherwise stated.
4		Use for construction unless expressly certified.



Client: **KOWLOON HOSPITAL**

Consultants:

Issue:

ISS. Ref: FSD Ref:

Authorised Person:

Project: **RENOVATION OF BLOCK P OF KOWLOON HOSPITAL**

Project Number: **RIC 001**

Date: **20260305**

Scale: **1:100**

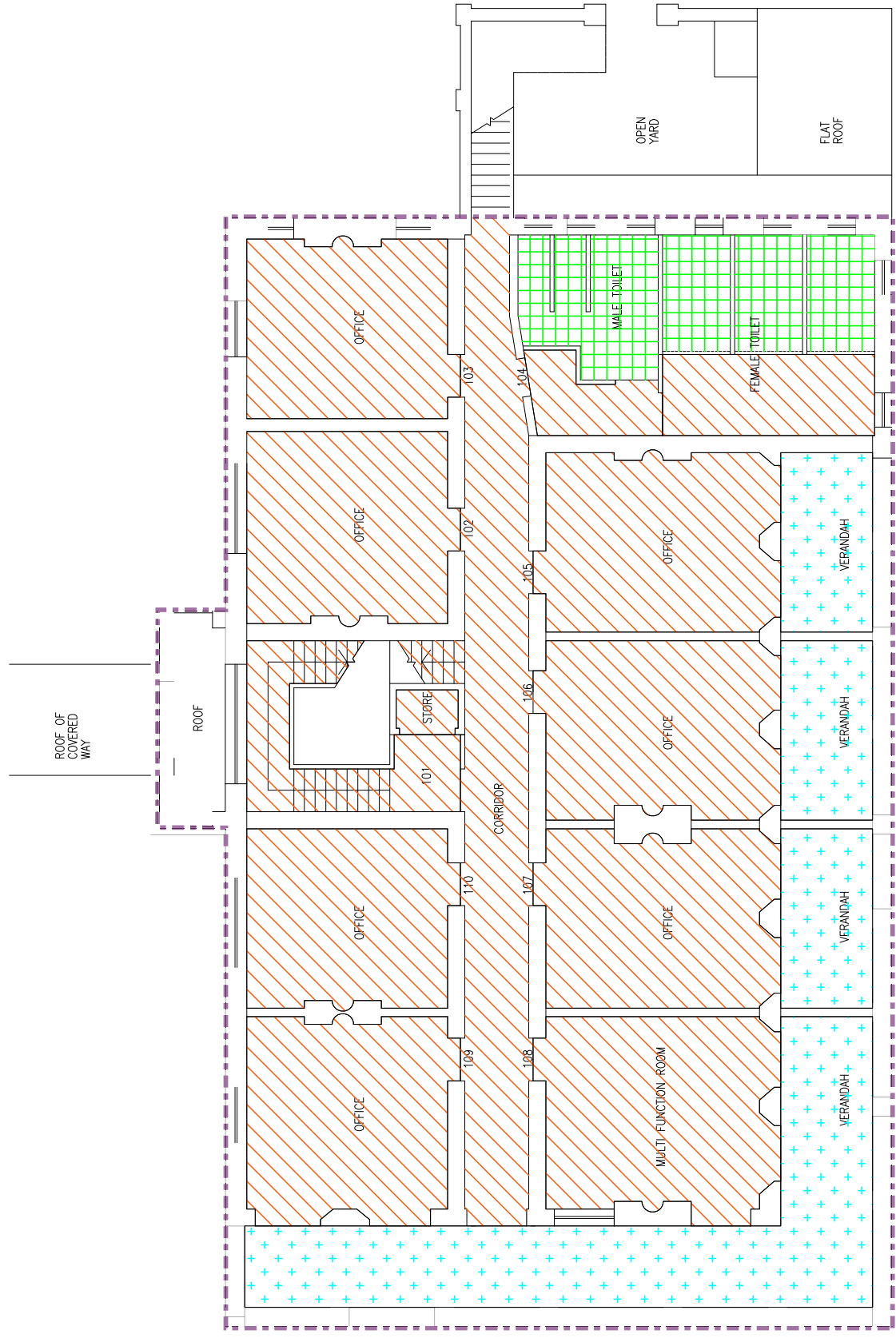
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Title: **FLOOR FINISHES PLAN - 1/F**

Number: **KH-042-RIC001-F002**

Revision: **C**

- LEGENDS:**
- REPAIR TO EXISTING TIMBER STRIP & APPLICATION OF FLOOR WAX
 - NEW ANTI-SLIP HOMOGENEOUS FLOOR TILES (R12)
 - PATCH REPAIR TO EXISTING FLOOR TILES TO MATCH EXISTING APPEARANCE
 - GRADING BOUNDARY



FLOOR FINISHES PLAN - 1/F SCALE 1:100

Rev.	Date	Description
1.		1. For not scale drawings. Dimensions govern.
2.		2. Verify dimensions in field. Notify Fujitac of discrepancies.
3.		3. Verify dimensions in field. Notify Fujitac of discrepancies.
4.		4. Not for construction unless separately certified.



Client
KOWLOON HOSPITAL

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Issue

BD Ref:
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Authorized Person

Project
 RECONSTRUCTION OF BLOCK P OF KOWLOON HOSPITAL

Revision Number
RIC 001 Date
20220305

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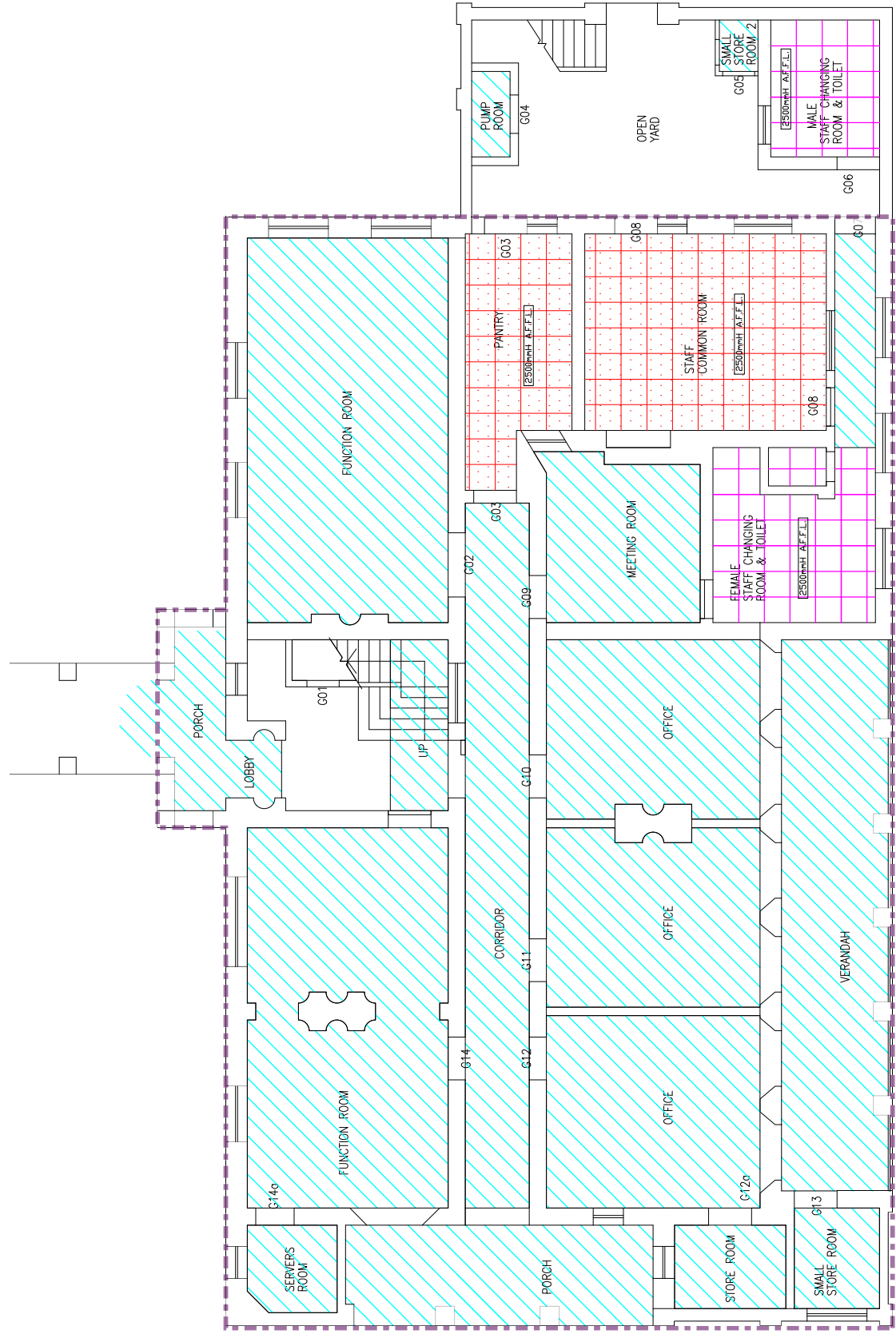
Drawn/Approved/Issued
SL/KN/JK

Title
REFLECTED CEILING PLAN - G/F

Number
KH-042-RIC001-C001

Revision
F

- LEGENDS:
- NEW PROPRIETARY MINERAL SILICATE BASED COATING SYSTEM
 - NEW 600X600mm ROCK WOOL FALSE CEILING SYSTEM
 - NEW 600X600mm LAY-IN TYPE ALUMINIUM FALSE CEILING SYSTEM
 - GRADING BOUNDARY



REFLECTED CEILING PLAN – G/F SCALE 1:100

Rev.	Date	Description
1.		1. For not scale drawings. Dimensions given.
2.		2. Verify dimensions in field. Notify Fujitac of discrepancies.
3.		3. Notify Fujitac of any changes to the design.
4.		4. Not for construction unless expressly certified.



Client
KOWLOON HOSPITAL

Consultants

Name

BD Ref:
 FSD Ref:

Authorized Person

Project
 RECONSTRUCTION OF BLOCK P OF KOWLOON HOSPITAL

Sheet Number
RIC 001

Scale
1:100

Date
20260305

Drawn/Approved/Finished
SL/KN/JK

Title
REFLECTED CEILING PLAN - 1/F

Number
KH-042-RIC001-C002

Revision
E

NEW PROPRIETARY FIRE PROTECTION CEILING ENCLOSURE SYSTEM W/ -/60/60 F.R.R.

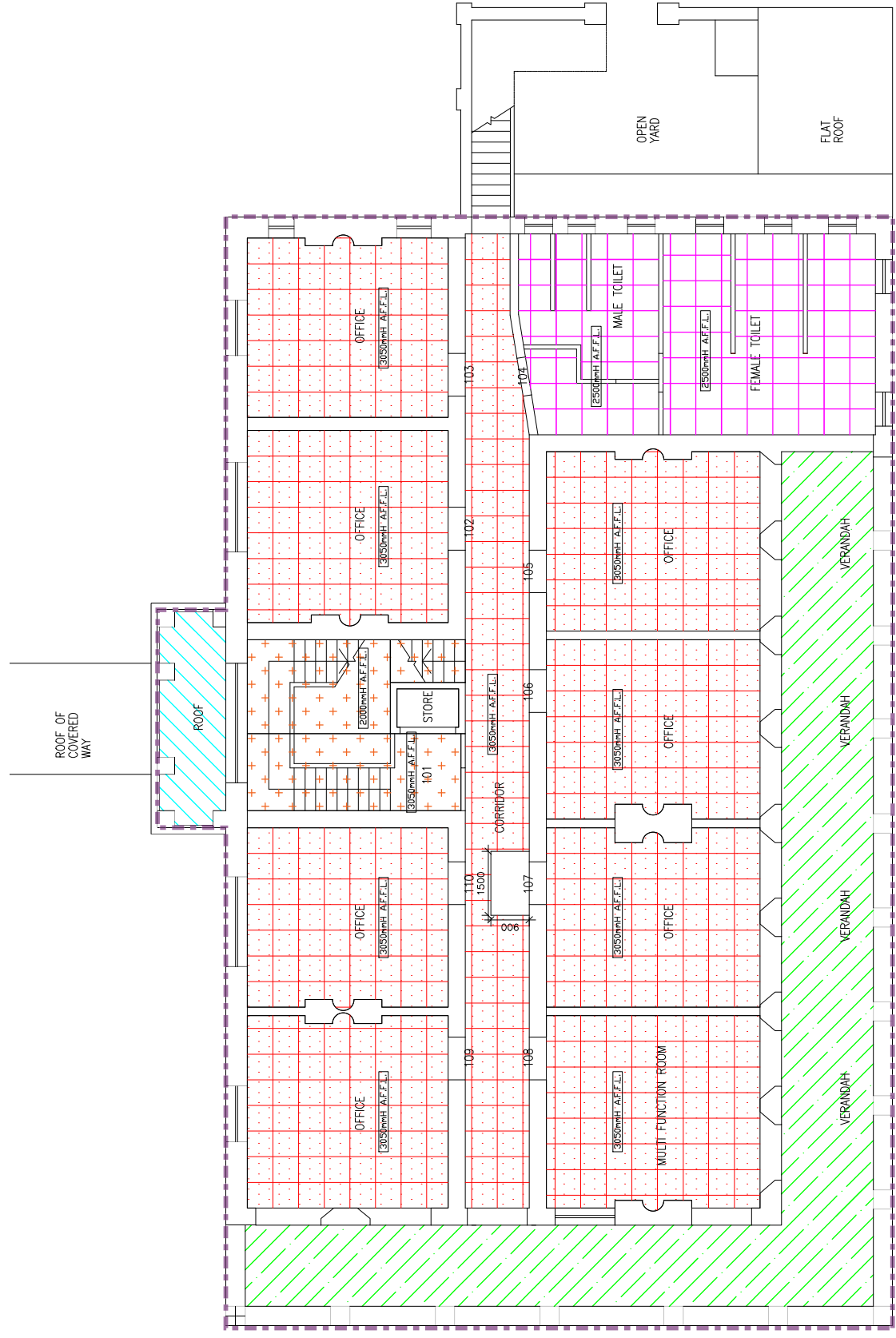
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NEW 600X600mm LAY-IN TYPE ALUMINIUM FALSE CEILING SYSTEM

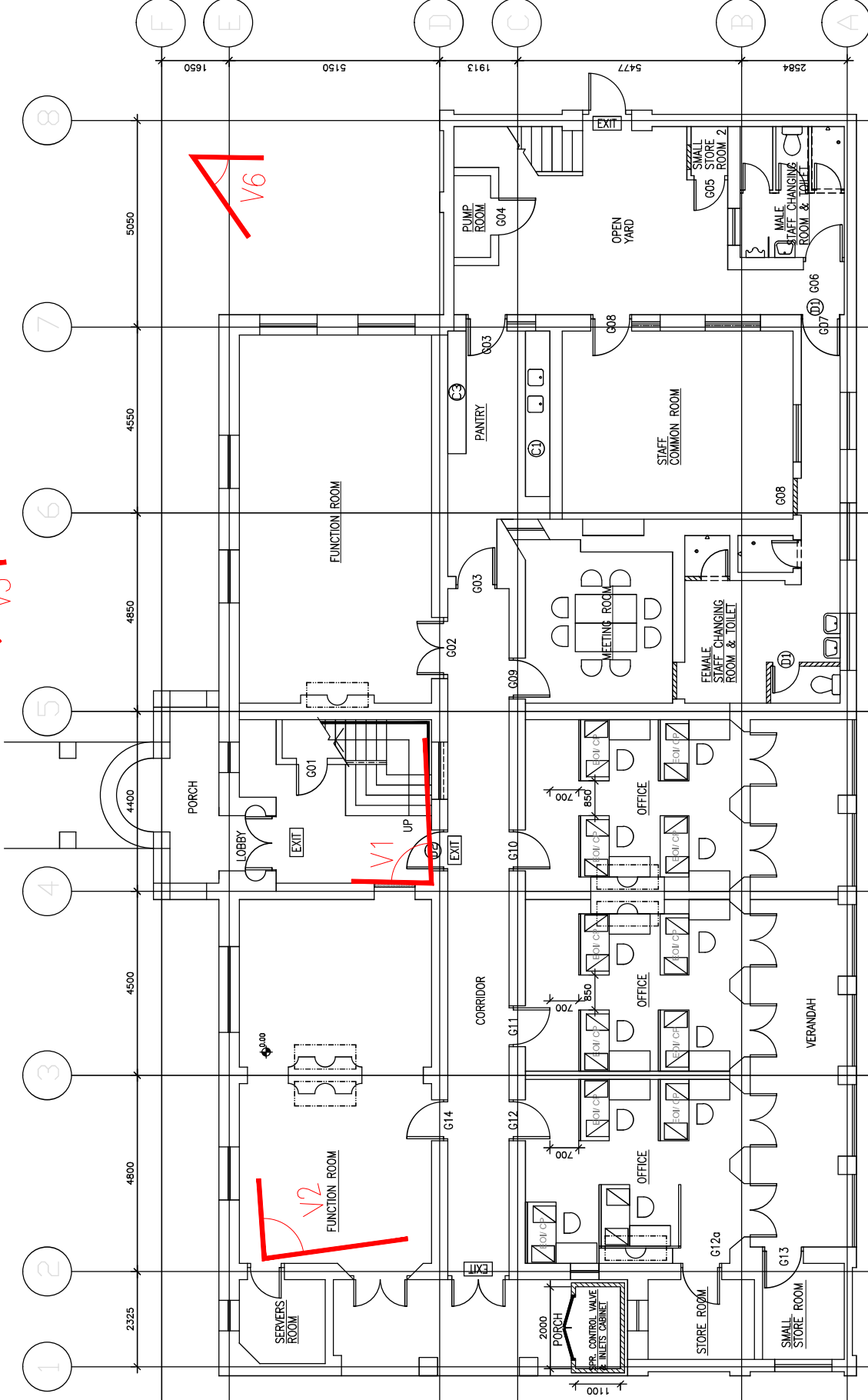
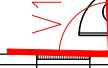
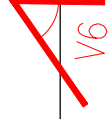
NEW 600X600mm ROCK WOOL FALSE CEILING SYSTEM

NEW PROPRIETARY MINERAL SILICATE BASED COATING SYSTEM

GRADING BOUNDARY



REFLECTED CEILING PLAN - 1/F SCALE 1:100

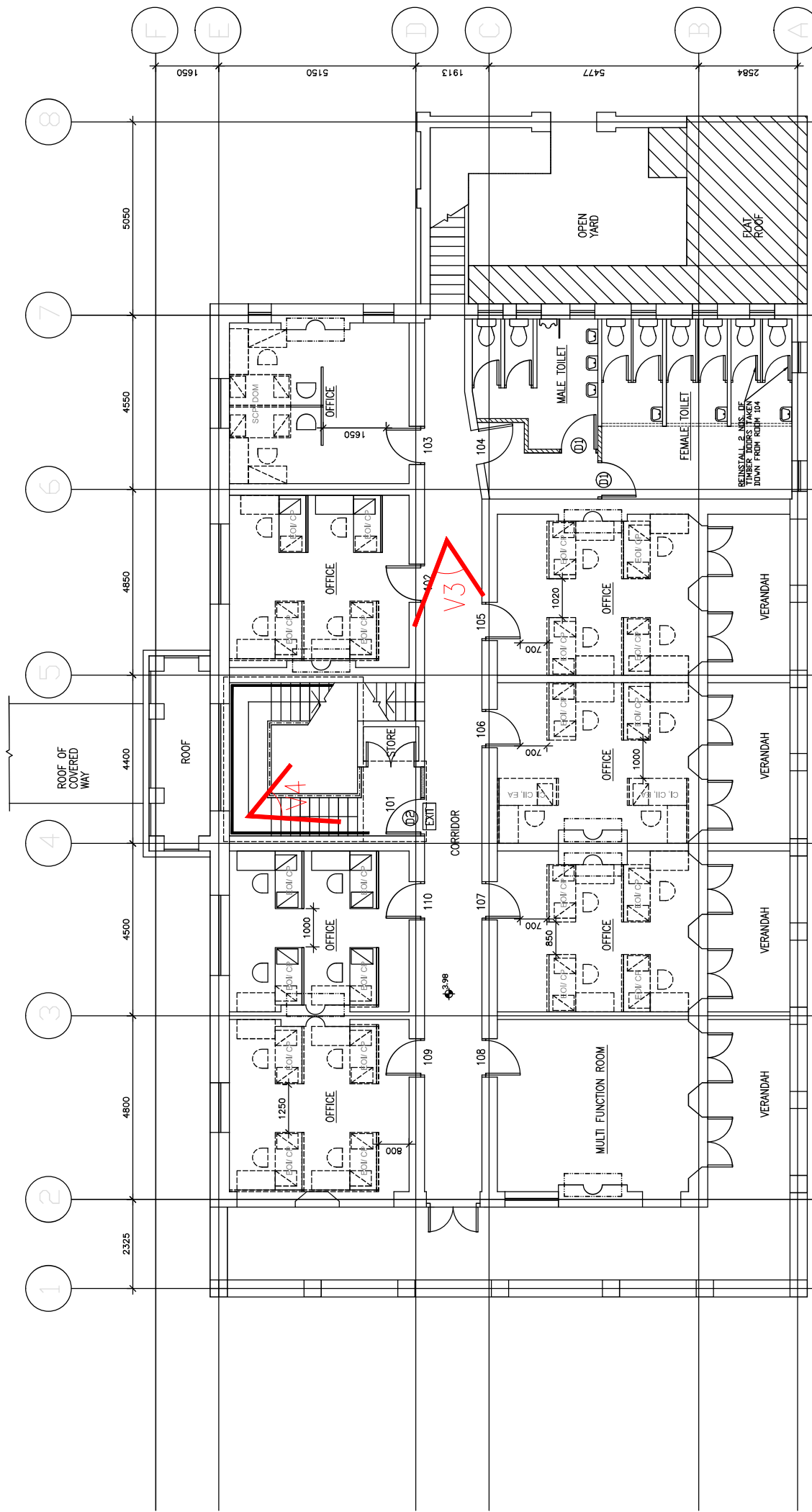


GROUND FLOOR PLAN

SCALE 1 : 100

SCALE 1:100

地下 PLAN



1/F FLOOR PLAN
SCALE 1 : 100

一樓 PLAN SCALE 1:100



V1



V2



V3



V4



V5



V6



V1



V2



V3



V4



V5



V6